



12 South Center Street  
Bensenville, IL 60106

Office: 630.350.3404  
Fax: 630.350.3438  
[www.bensenville.il.us](http://www.bensenville.il.us)

#### VILLAGE BOARD

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Rosa Carmona  
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Nancy Quinn

**Village Manager**  
Evan K. Summers

October 17, 2017

Ms. Julie Perez  
322 Judson Street  
Bensenville, Illinois 60106

Re: October 16, 2017 FOIA Request

Dear Ms. Perez:

I am pleased to help you with your October 16, 2017 Freedom of Information Act ("FOIA"). The Village of Bensenville received your request on October 16, 2017. You requested copies of the items indicated below:

*"All building permits and details of all inspections done for 322 Judson Street in the period from October 2014 through August 2017. Any permits pertaining to a deck as well."*

After a search of Village files, the following documents are enclosed to fulfill your request:

- 1) Village of Bensenville Permit Application No. 5976. (15 pgs.)
- 2) Village of Bensenville Permit Application No. 6882. (11 pgs.)

These are all of the documents that can be discovered responsive to your request.

Section 7(1)(b) of FOIA provided that "private information" is exempt from disclosure. "Private information" is defined in FOIA as, "unique identifiers, including a person's social security number, driver's license number, employee identification number, biometric identifiers, personal financial information, passwords or other access codes, medical records, home or personal telephone numbers, and personal email addresses. Private information also includes home address and personal license plates, except as otherwise provided by law or when complied without possibility of attribution to any person." 5ILCS 140/2(c-5). Consequently, certain unique identifiers have been redacted from the records being provided.

Pursuant to Section 9 of the FOIA, 5 ILCS 140/9, I am required to advise you that I, the undersigned Freedom of Information Officer, reviewed and made the foregoing determination to deny a portion of your FOIA Request as indicated. Should you believe that this Response constitutes an improper denial of your request, you may appeal such by filing a request for review within sixty (60) days of the date of this letter with the Public Access Counselor of the Illinois Attorney General's Office, Public Access Bureau, 500 South Second Street, Springfield, Illinois 62706; telephone 1-887-299-FOIA; e-mail: [publicaccess@atg.state.il.us](mailto:publicaccess@atg.state.il.us). You may also have a right of judicial review of the denial under Section 11 of FOIA, 5 ILCS 140/11.

Do not hesitate to contact me if you have any questions or concerns in connection with this response.

Very truly yours,

Corey Williamsen  
Freedom of Information Officer  
Village of Bensenville

## VILLAGE OF BENSENVILLE

## RESIDENTIAL PERMIT APPLICATION

DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT  
PHONE: 630.350.3413 FAX: 630.350.344912 S. CENTER STREET  
BENSENVILLE, IL 60106

## PERMIT INFORMATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

322 JUDSON ST BENSENVILLE IL	UNIT NUMBER	RS-5
SITE ADDRESS		ZONING DISTRICT
REMODELING KITCHEN		
DESCRIPTION OF WORK 1		P.I.N. (Parcel Identification Number)
		8000
DESCRIPTION OF WORK 2		ESTIMATED COST

## CONTRACTOR INFORMATION

LUKE / PAULINA BANAS	Email Address	Day Time Phone
322 JUDSON ST BENSENVILLE		
GENERAL CONTRACTOR	Address	City, State, & ZIP Code
LICENSED PLUMBING CONTRACTOR	Email Address	Day Time Phone
LICENSED ELECTRICAL CONTRACTOR	Email Address	Day Time Phone
LICENSED ROOFING CONTRACTOR	Email Address	Day Time Phone

## OWNER &amp; APPLICANT INFORMATION

No error or omission in either the plans or application shall relieve the applicant in having the work completed in any other manner than that which is in compliance with the approved plans and the applicable codes and ordinances of the Village of Bensenville and the State of Illinois. All work shall be completed, inspected, and approved as required and no occupancy or use of the space shall be permitted until approved in writing by the Department of Community and Economic Development. The Applicant shall be responsible for all fees associated with the instant permit, including but not limited to cancellation fees, plan review fees, and reinspection fees. Understanding the preceding statements, I hereby agree to comply and declare that to the best of my knowledge, the information provided is true and accurate.

LUKE / PAULINA BANAS	Applicant's Signature	Date
322 JUDSON ST	BENSENVILLE IL	
Applicant's Name (Print)	City, State, & ZIP Code	Day Time Phone
Correspondence and escrow refunds can only be completed if the address of the applicant is kept current, which is the applicant's responsibility.		
I hereby authorize the above listed applicant to complete the provisions of the applicable code and ordinances for this project.		
LUKE / PAULINA BANAS	Property Owner's Signature	Date
322 JUDSON ST	BENSENVILLE	
Property Owner's Name (Print)	City, State, & ZIP Code	Day Time Phone

Stormwater Permit Required? ☐ Yes ☒ No  
APPLICATION NUMBER 5976

## BUILDING INFORMATION (PLEASE check all that apply)

<input type="checkbox"/> New Construction	<input type="checkbox"/> Addition	<input type="checkbox"/> Alteration	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> Single Family Attached Garage			
<input type="checkbox"/> Single Family Detached Garage			
<input type="checkbox"/> 1-Car Garage	<input type="checkbox"/> 2-Car Garage	<input type="checkbox"/> 3-Car Garage	
<input type="checkbox"/> Ranch	<input type="checkbox"/> Split Level	<input type="checkbox"/> 2 Story	
<input type="checkbox"/> 1 Bedroom	<input type="checkbox"/> 2 Bedroom	<input type="checkbox"/> 3 Bedroom	<input type="checkbox"/> 4+ Bedroom
<input type="checkbox"/> Basement	<input type="checkbox"/> Crawspace	<input type="checkbox"/> Both	
<input type="checkbox"/> Attic Access	<input type="checkbox"/> Open/Vaulted Ceilings		
<input type="checkbox"/> Village Water	<input type="checkbox"/> Well Water		
<input type="checkbox"/> Village Sewer	<input type="checkbox"/> Septic System		
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Tank		
<input type="checkbox"/> Existing Sq.Ft.	<input type="checkbox"/> New Sq.Ft.		

## OFFICE USE ONLY

FEES:		MILESTONE DATES:	
ESCROW *	\$ 105.00	Applied on:	4-14-16
APPLICATION	\$ 50.00	Approved on:	7-7-16
PLAN REVIEW	\$ 27.00	Issued on:	07-08-16
INSPECTIONS (8 x \$35)	\$ 280.00	Expires on:	01-08-17
WATER CONNECTION	\$ .00		
WATER METER	\$ .00		
SEWER CONNECTION	\$ .00		
FIRE METER	\$ .00		
OTHER	\$ .00		
TOTAL PERMIT FEE \$ 462.00		Approved by: [Signature]	

\*All failed inspections will be charged against the escrow at the standard inspection rates. After final approvals and occupancy have been issued, the remaining escrow will be refunded to the payee via first class mail. In the event the cost of failed inspections exceeds the escrow amount, no further inspections will be completed until an additional escrow has been received.

# VILLAGE OF BENSENVILLE

## Department of Community and Economic Development

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### CONDITIONS OF THE PERMIT

**SITE LOCATION:** 322 SOUTH JUDSON STREET  
**INTENDED USE:** RS-5  
**APPLICATION NO:** 5976  
**APPLICATION TYPE:** SINGLE FAMILY ACC/ALT/REP  
**DESCRIPTION OF WORK:** REMODELING

FILE COPY

- 
1. All work whether approved or not shall be in compliance with the applicable codes and ordinances.
  2. Contact the Community and Economic Development Department 24 hours in advance at 630-350-3413 for any necessary inspections.
  3. No work except what has been approved or required shall be permitted through the execution of this permit. No changes to the approved plans will be permitted without authorization by the Department of Community and Economic Development in writing.
  4. THESE PLANS & CONDITIONS MUST BE AT THE JOB SITE AND AVAILABLE FOR EACH INSPECTION. If the approved copy is not available, the inspection will not be conducted and the report shall be marked "Not Approved." DO NOT REMOVE THESE CONDITIONS FROM THE PLANS.
  5. SPECIAL CONDITIONS TO APPLICATION NUMBER 5976

All conditions are mandatory, changes on the approved plans/documents will not be permitted without written authorization from the Community & Economic Development Department. Failure to comply with the preceding conditions will invalidate the approval of this permit.

All work must be inspected in accordance with the inspection list provided with this permit. Work concealed without the required inspection and approval must be exposed for inspection (at owner's/contractor's expense) as directed by the Village Inspector.

Permit is limited to interior remodeling of an existing single family dwelling.

Note this project was started without a permit. Some areas of new drywall will have to be removed to verify the code compliance of an inspection.

Remove closet in basement storage room. The closet makes this room a bedroom and the room doesn't have an emergency escape and rescue opening. This room shall not be used for sleeping purposes without an approved emergency escape and rescue opening.

Not less than 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75 percent of the lamps permanently installed lighting fixtures shall contain only high-efficacy lamps.

Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling cover

Any new duct work, air handler and filter boxes shall be sealed

Attic access shall be weatherstripped and insulated to the same R-value as the surrounding area. In this case an R-49. Attic access shall all have a retainer of some type to prevent any loose-fill insulation from spilling into the living space below.

Bathroom exhaust fans shall exhaust to the outdoors.

Plan indicate overcurrent protection devices are located in the bathroom, 2015 National Electrical Code does not allow overcurrent protection devices to be located in bathrooms and not in the vicinity of easily ignitable material, such as clothes closets. Owner has indicated the panel will be re-located.

Plans are approved as noted above.

All work must be performed in a neat and workmanlike manner by persons who are skilled in their trades in full performance with the Village Code. All work must be inspected in accordance with the inspection lists provided with this permit. Owner/Contractor is responsible to expose any work concealed without the required inspection and approval.

The completion of this project and the bond refund process is subject to the final inspection and approval by the Village Inspector. NOTE: All debris shall be removed and landscaping must be returned to original conditions prior to final inspection.

Having read and understood the preceding conditions, I hereby agree to comply with them.



SIGNATURE

LUKE GRABOWSKI

NAME (PRINT)

7/8/16

DATE

VILLAGE OF BENSENVILLE  
COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT  
12 SOUTH CENTER STREET, BENSENVILLE, ILLINOIS 60106

**APPLICATION NUMBER: 5976**

ADDRESS 322 SOUTH JUDSON STREET BENSENVILLE

OWNER BANAS, PAULINA

CONTRACTOR BANAS, PAULINA

The following inspections are required to be passed:

ROUGH ELECTRICAL (EI)

FINAL PLUMBING (PI)

ROUGH PLUMBING (PI)

FINAL ELECTRIC (EI)

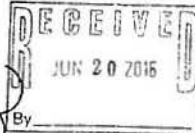
ROUGH MECHANICAL (BI)

FINAL MECHANICAL (BI)

ROUGH FRAMING (BI)

FINAL INSPECTION (BI)

THE FOLLOWING CODES AND AMENDMENTS ARE STRICTLY ADHERED TO AND THAT FINAL CONSTRUCTION AND INSTALLATIONS MUST BE IN CONFORMANCE WITH THESE CODES:  
2005 INTERNATIONAL RESIDENTIAL CODE  
2005 ILLINOIS ENERGY CONSERVATION CODE  
2004 NATIONAL ELECTRICAL CODE  
ILLINOIS PLUMBING CODE  
VILLAGE OF BENSenville AMENDMENTS



AS-BUILD DRAWINGS FOR  
INTERIOR REMODELING  
AT 322 ST. JUDSON  
BENSenville IL 60106

## DRAWING INDEX

- A1 - DEMOLITION PLAN, ALTERED FLOOR PLANS  
A2 - ELECTRICAL PLAN 1, NOTES

NOTE: FOR PUBLIC WORKS, EXISTING PLAN & SPECIFICATIONS SEE SEPARATE MEASUREMENTS SHEET.

NOTE: STAIRS ARE REQUIRED BY CITY ORDINANCE, NEW 1" X 4" STAIRS REQUIRED.

## 1 SCOPE OF WORK

### EXTERIOR CHANGES

INSTALL NEW ASPHALT CHANGES ON TOP OF EXISTING LAYER

### INTERIOR REMODELING DETAIL NOTES

NEW PARTITION WALLS TO BE INSTALLED WITHIN EXISTING BUILDING.

NEW PARTITIONS: WALLS TO BE 2" X 4" WOOD STUDS

# 1" X 4" C-CANAL, S&P, DRYWALL ON BOTH SIDES

PLUMBING WALLS TO BE 2" X 4" WOOD STUDS

# 1" X 4" C-CANAL, S&P, DRYWALL ON BOTH SIDES

NEW R-10 INSULATION TO BE INSTALLED IN WALLS

NEW R-38 INSULATION TO BE INSTALLED IN CATHEDRAL CEILING

NEW DRYWALL SHOULD BE PAINTED WITH ONE COAT PRIMER AND TWO FINISH COATS

### REPLACED KITCHEN APPLIANCES:

RANGE

DISH

REFRIG

### NEW KITCHEN APPLIANCES:

DISHWASHER

MICROWAVE

### ALL BATHROOMS TO REPLACE:

TUB

TOILET

SINK

- 1 - DEMOLISH PART OF EXISTING WALLS AS PER DEMOLITION PLAN
- 2 - INSTALL NEW 1/2" DRYWALL ON NEW PARTITION WALLS
- 3 - EXIST HVAC SYSTEM TO BE PARTIALLY ALTERED, WHERE NEEDED REPLACE EXIST REGISTER COVERS, WHERE NEEDED
- 4 - PARTIALLY NEW ELECTRICAL WIRING CONNECTIONS, SEE SHEET #1 FOR NEW ELEC. LAYOUTS DETAILS, EXIST WIRING SERVICE TO REMAIN
- 5 - REMOVE EXIST FURNITURE AND INSTALL NEW AS PER MEAS. NOTES
- 6 - REMOVE EXIST APPLIANCES AND FURNITURE, REPLACE WITH NEW WHERE NEEDED
- 7 - REMOVE PART OF EXIST PLUMBING/FIXTURES, REMOVE OR CAP PLUMBING LINES. INSTALL NEW PLUMBING LINES FOR ADDED OR REDUCED PLUMBING FIXTURES
- 8 - NEW CERAMIC TILES
- 9 - INSTALL NEW KITCHEN AND BATH CABBETS AS PER PLAN
- 10 - INSTALL NEW GRANITE COUNTERTOPS
- 11 - INSTALL C.M.D. & S.D. PER CONCRETE BACK UP AND INTERCONNECTED
- 12 - INSTALL NEW CARPET IN THE BOPRT & REFINISH EXISTING WOOD FLOOR ON THE 1ST FLOOR
- 13 - REFRIG. HANDLE REUSE
- 14 - REMOVE ALL DEBRIS FROM THE SITE 1 CLEAN AFTER CONSTRUCTION

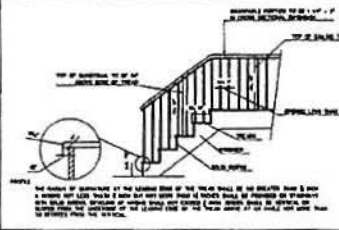
### NOTES:

1. EXIST WALLS, EXISTING PLUMBING IN CONTACT WITH CONCRETE MUST BE RE-ROUTED THROUGHOUT.

2. PLAT AREA IF EXIST. REMAINS TOTAL 10' X 10' INSULATION

### STAIRCASE DETAIL

N.T.S.

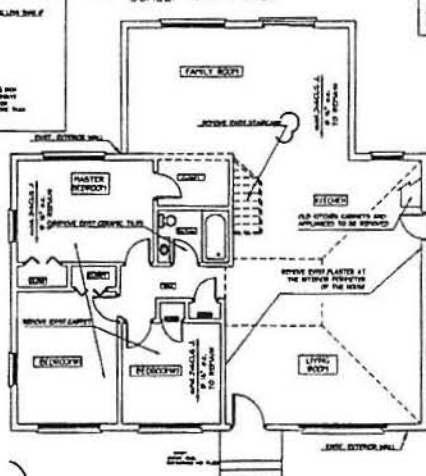


### STAIRWAY NOTES:

1. THE STAIRWAY MUST BE AT LEAST 3' 6" WIDE AND THE STAIRWAY TREADS MUST BE 10" WIDE FROM RISE TO RISE.
2. THE LENGTH AND WIDTH OF STAIRS SHALL BE 10' LONGER THAN THE WIDTH OF THE STAIRS.
3. EXISTING STAIRS SHALL BE DEMOLISHED AND A NEW STAIR SHALL BE INSTALLED ON BOTH SIDES OF THE STAIR WITHIN THE 10' X 10' AREA.
4. EXISTING STAIRS, EXISTING AND NEW STAIRS SHALL BE INSTALLED ON BOTH SIDES OF THE STAIR WITHIN THE 10' X 10' AREA.
5. THE STAIRWAY SHALL BE AT LEAST 3' 6" WIDE AND THE STAIRWAY TREADS MUST BE 10" WIDE FROM RISE TO RISE.
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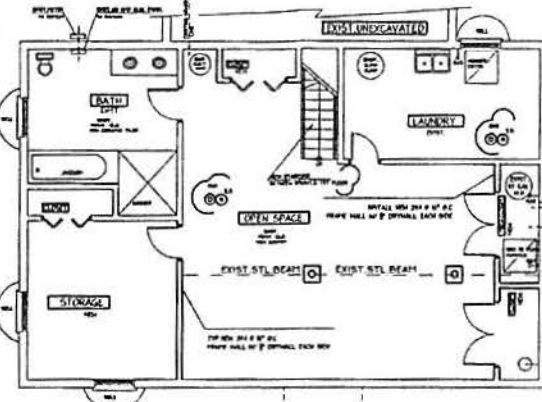
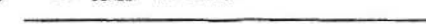
## 2 BASEMENT DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



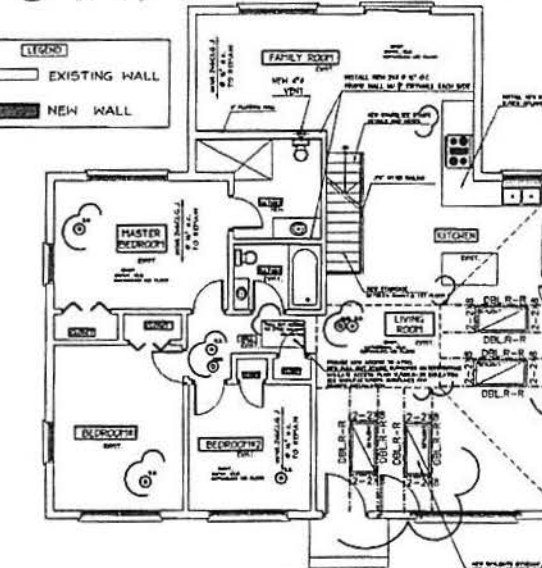
## 3 FIRST FL. DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



## 4 ALTERED BASEMENT PLAN

1/4" = 1'-0"



## 5 ALTERED 1ST. FLOOR

1/4" = 1'-0"

DEMOLITION PLAN, SCOPE OF WORK, ALTERED FLOOR PLANS

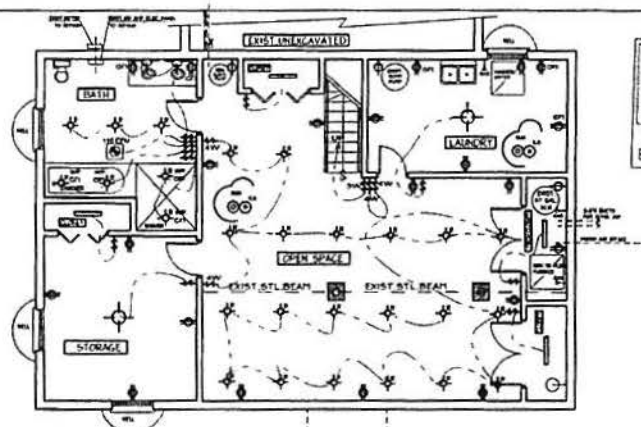
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PROJECT NO.:

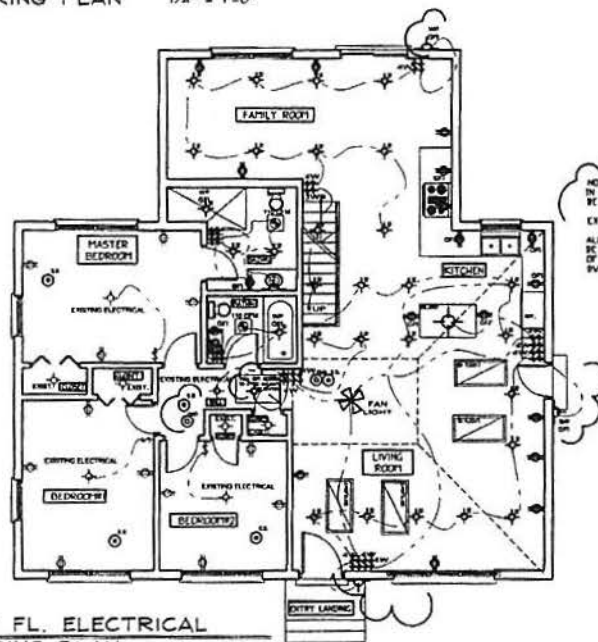
DATE: 05/20/16

BY: A1





① BASEMENT ELECTRICAL WIRING PLAN 1/4" = 1'-0"



② 1ST FL. ELECTRICAL WIRING PLAN 1/4" = 1'-0"

RECEIVED  
JUN 20 2016  
By \_\_\_\_\_

SYMBOL	DESCRIPTION
[Symbol]	20 AMP RECEPTACLE
[Symbol]	30 AMP RECEPTACLE
[Symbol]	15 AMP BREAKER
[Symbol]	20 AMP BREAKER
[Symbol]	30 AMP BREAKER
[Symbol]	40 AMP BREAKER
[Symbol]	60 AMP BREAKER
[Symbol]	100 AMP BREAKER
[Symbol]	150 AMP BREAKER
[Symbol]	200 AMP BREAKER
[Symbol]	250 AMP BREAKER
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[Symbol]	850 AMP BREAKER
[Symbol]	900 AMP BREAKER
[Symbol]	950 AMP BREAKER
[Symbol]	1000 AMP BREAKER

### ELEC. NOTES

EXIST. 100 AMP ELECTRIC SERVICE TO REMAIN

NOTE:  
ALL KITCHEN RECEPTACLES SHOULD BE 20 AMP GFI  
PROTECTED & LOCATED SO THAT NO POINT IS MORE THAN 24"  
FROM A RECEPTACLE POINT. DISCONNECT SWITCHES FOR DISPOSAL  
& DISHWASHER ARE REQUIRED. ALL CEILING RECEPTACLES SHALL BE  
FAN RATED.

NOTE:  
PROVIDE AN 110 V. V. BATTERY BACK-UP SMOKE ALARM TO BE INSTALLED OUTSIDE  
SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS WITHIN 15'  
EACH ALARM SHALL BE INTERCONNECTED.

NOTE:  
SMOKE DETECTORS INSTALLED IN ROOMS WITH SLOPED CEILINGS SHALL BE  
LOCATED AT A POINT NO MORE  
THAN 12" FROM THE HIGHEST POINT OF CEILING.

NOTE:  
PROVIDE SEPARATE DEDICATED BRANCH CIRCUITS AT THE FOLLOWING  
LOCATIONS: FURNACE/HEATING PLANT/CENTRAL AIR UNIT, THROUGH-WALL HEATING /AIR  
CONDITIONING UNITS, BUILT-IN MICROWAVE OVEN, SUMP PUMPS  
AND EJECTOR PUMPS.

NOTE:  
INSTALL WALL RECEPTACLES TO THAT NO POINT ALONG THE FLOOR LINE  
IN ANY WALL SPACE IS MORE THAN 6 FEET MEASURED HORIZONTALLY  
FROM AN OUTLET IN THAT SPACE.

NOTE:  
ALL 20-AMP CIRCUITS MUST UTILIZE ONLY 20-AMP RECEPTACLES  
AND EJECTOR PUMPS.

NOTE:  
CLOSET SURFACE MOUNTED INCANDESCENT FEATURES MUST BE  
MOUNTED A MINIMUM 12" AWAY FROM THE NEAREST POINT OF STORAGE. RECESSED  
INCANDESCENT, RECESSED FLUORESCENT AND SURFACE MOUNTED FLUORESCENT FEATURES  
MUST BE MOUNTED A 6" AWAY FROM THE NEAREST POINT OF STORAGE.  
LIGHT FIXTURES IN CLOSETS MUST HAVE A COMPLETELY ENCLOSED LAMP.

NOTE:  
ALL BEDROOMS SHALL BE ARC-Fault PROTECTED IF REMODELED.

NOTE:  
ALL EXISTING ELECTRICAL NOT DISTURBED  
DURING CONSTRUCTION TO REMAIN ALL CONDUITS  
ABANDONED TO BE REMOVED. ALL WIRE PULLER  
& NOT PLUGGED OR CAPPEREMOVED BREAKERS ON ELECTRICAL  
PANEL & PLUG.

### H.V.A.C. NOTES

#### H.V.A.C. EQUIPMENT:

REMOVE EXISTING FURNACE IN THE BSMT.

(1) ONE-NEW FURNACE-  
LOCATED IN THE BASEMENT FOR THE WHOLE HOUSE

92 PLUS EFFICIENCY; SELF-COMB. 75,000 BTU INPUT

ONE NEW A.C. CONDENSING UNIT

#1 -2.5 TON, 30,000 BTU COOLING CAPACITY  
LOCATED IN THE REAR OF THE HOUSE

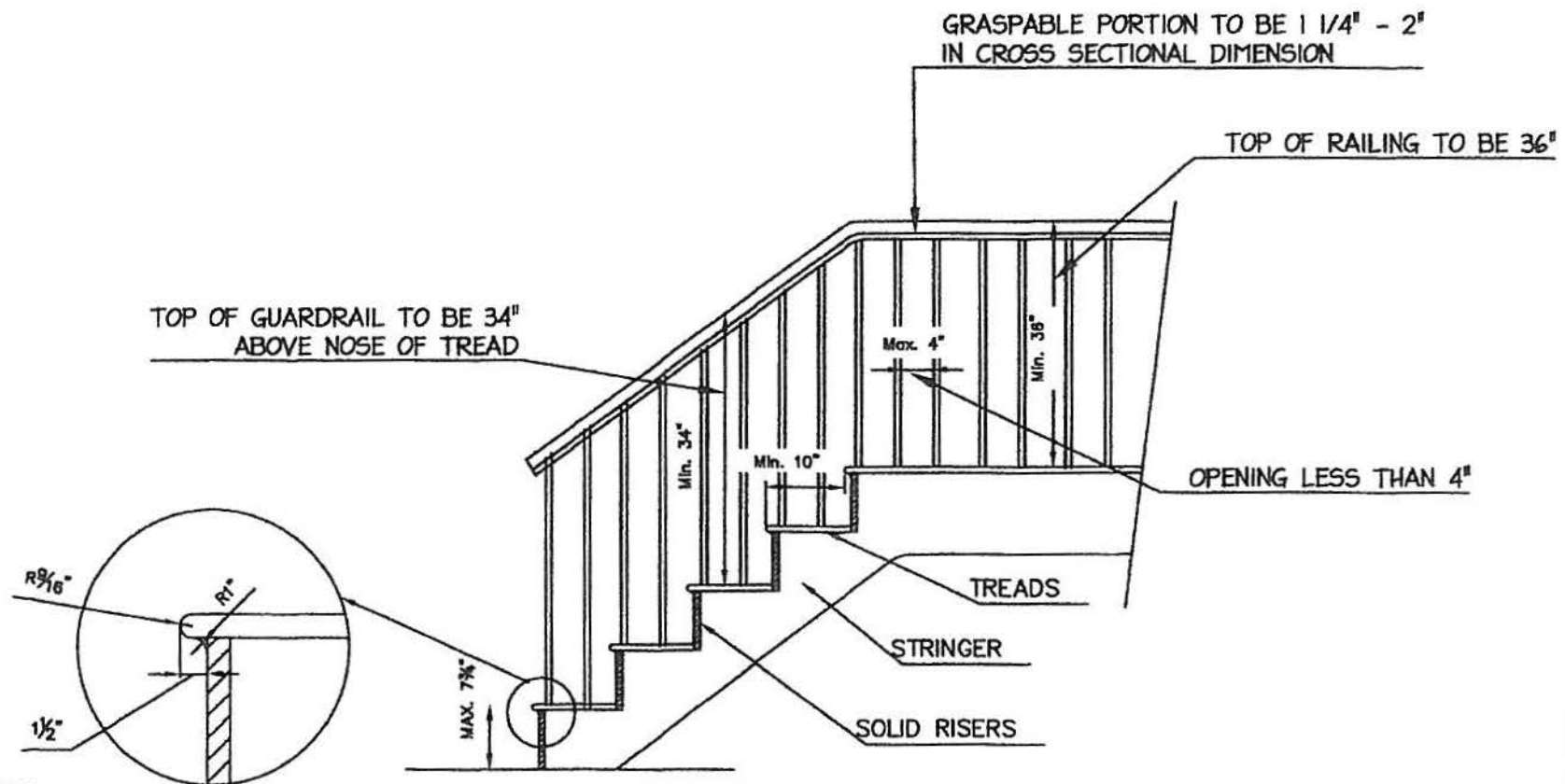
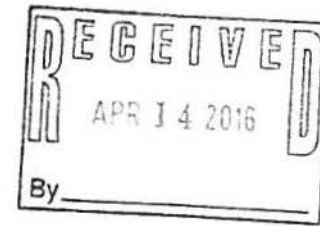
ELECTRICAL PLAN, ELEC. & HVAC NOTES

PROJECT NO. 18-001  
18-001 1/4" = 1'-0" HYDRAULIC  
ADDRESS 222 ADAM ST. ROCKFORD  
IL 61101

DATE 05/31/18

SHEET

A2



PROFILE:

THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN  $\frac{9}{16}$  INCH. A NOSING NOT LESS THAN  $\frac{3}{4}$  INCH BUT NOT MORE THAN  $1\frac{1}{4}$  INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. BEVELING OF NOSING SHALL NOT EXCEED  $\frac{1}{2}$  INCH. RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL.







**Village of Bensenville**  
12 S. Center Street  
Bensenville, IL 60106  
630.350.3413

SITE ADDRESS: 322 Tolsal INSPECTION DATE: 12-19-16 (AM/PM)

INSPECTOR ASSIGNED: Don PERMIT NO.: 5976

INSPECTION TYPE: General

NOTES:

**APPROVED**

**NOT APPROVED**

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN \_\_\_\_\_ DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT BY TELEPHONE, 630.350.3413 OR BY WRITING, 12 S. CENTER STREET, BENSENVILLE, IL 60106.

RECEIVED BY: \_\_\_\_\_ INSPECTOR: \_\_\_\_\_



**BENSENVILLE**  
COMMUNITY & ECONOMIC  
DEVELOPMENT

Village of Bensenville  
12 S. Center Street  
Bensenville, IL 60106  
630.350.3413

### INSPECTION REPORT

SITE ADDRESS: 322 JUDSON INSPECTION DATE: 7-26-2017 AM/PM (PM)

INSPECTOR ASSIGNED: DENNIS HARTLEY PERMIT NO.: \_\_\_\_\_

INSPECTION TYPE: PLUMBING ROUGH

NOTES: 1) WATER TEMPS IN TUBS SHOW 107°F

2) WATER TEMPS IN SHOW 147°F - EXHIBIT EXCERPT  
115°F.

3) HAND HELD SHOWER NEEDS VACUUM BREAKER

4) HAND HELD TUB ON LOWER LEVEL NEEDS VACUUM  
BREAKER

APPROVED \_\_\_\_\_

NOT APPROVED \_\_\_\_\_

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN \_\_\_\_\_ DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT BY TELEPHONE 630.350.3413 OR BY WRITING, 12 S. CENTER STREET, BENSENVILLE, IL 60106.

RECEIVED BY: \_\_\_\_\_

INSPECTOR: Dennis W. Hartley



**BENSENVILLE**  
COMMUNITY & ECONOMIC  
DEVELOPMENT

Village of Bensenville  
12 S. Center Street  
Bensenville, IL 60106  
630.350.3413

## INSPECTION REPORT

SITE ADDRESS: 322 JUDSON INSPECTION DATE: 7-26-2017 AM/PM  
INSPECTOR ASSIGNED: DENNIS HARTLEY PERMIT NO.: 5976-44675  
INSPECTION TYPE: \_\_\_\_\_

NOTES: NO BAD HOME

PHONE CALL FOR REINSPECTION

REINSPECT ID #  
53285

**APPROVED**

**NOT APPROVED**

THIS IS NOT A CERTIFICATE OF OCCUPANCY

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RECEIVED BY: \_\_\_\_\_ INSPECTOR: Dennis Hartley



**Village of Bensenville**  
12 S. Center Street  
Bensenville, IL 60106  
630.350.3413

SITE ADDRESS: 322 Judson St INSPECTION DATE: 7-26-17 ☒ AM ☐ PM  
INSPECTOR ASSIGNED: DAV BROWN PERMIT NO.: 5976  
INSPECTION TYPE: FINAL Bldg 44674

NOTES:



**NOT APPROVED**

THIS IS NOT A CERTIFICATE OF OCCUPANCY

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RECEIVED BY: \_\_\_\_\_ INSPECTOR: \_\_\_\_\_



**BENSENVILLE**  
COMMUNITY & ECONOMIC  
DEVELOPMENT

Village of Bensenville  
12 S. Center Street  
Bensenville, IL 60106  
630.350.3413

### INSPECTION REPORT

SITE ADDRESS: 322 Ludson St INSPECTION DATE: 7-26-17 AM PM

INSPECTOR ASSIGNED: Don Burrows PERMIT NO.: 5976

INSPECTION TYPE: FINAL ELE 44676

NOTES: Garbage Disposal on GFI  
Completed when here

APPROVED

NOT APPROVED

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RECEIVED BY:

INSPECTOR:





**BENSENVILLE**  
COMMUNITY & ECONOMIC  
DEVELOPMENT

Village of Bensenville  
12 S. Center Street  
Bensenville, IL 60106  
630.350.3413

### INSPECTION REPORT

SITE ADDRESS: 322 Judson INSPECTION DATE: 7-26-17 PM

INSPECTOR ASSIGNED: Dan Burren PERMIT NO.: 5976

INSPECTION TYPE: FINAL Mech 44677

NOTES: Existing - Replaced units

APPROVED

NOT APPROVED

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RECEIVED BY: \_\_\_\_\_

INSPECTOR: \_\_\_\_\_



**Village of Bensenville**  
12 S. Center Street  
Bensenville, IL 60106  
630.350.3413

## INSPECTION REPORT

SITE ADDRESS: 322 JUNSON INSPECTION DATE: 7-07-017 (AM/PM)  
INSPECTOR ASSIGNED: DETERRIS HERNANDEZ PERMIT NO.: 5976-53285-  
INSPECTION TYPE: ROOMBING FIRE

NOTES:

**APPROVED**

NOT APPROVED

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RECEIVED BY:

**INSPECTOR:**

Dr. H. K.

## VILLAGE OF BENSENVILLE

Department of Community and Economic Development  
12 S. Center St. Bensenville, IL 60106  
Phone: 630.350.3413 Fax: 630.350.3449

## PERMIT APPLICATION

Application Number

6882

☒ RESIDENTIAL☐ MULTI-RESIDENTIAL☐ NON-RESIDENTIAL

## PERMIT INFORMATION

322 JUDSON ST

SITE ADDRESS DECK

UNIT NUMBER

P.I.N.

RS-5

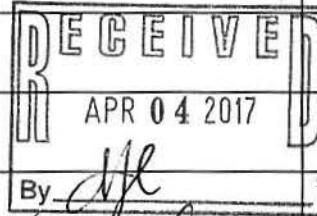
ZONING DISTRICT

DESCRIPTION OF WORK

ESTIMATED COST

250<sup>00</sup>

GENERAL CONTRACTOR OWNER	EMAIL	Day Time Phone
ADDRESS 322 JUDSON	City BENSENVILLE	State & ZIP IL 60106
LICENCED PLUMBING CONTRACTOR	EMAIL	Day Time Phone
ADDRESS	City	State & ZIP
LICENSED ELECTRICAL CONTRACTOR	EMAIL	Day Time Phone
ADDRESS	City	State & ZIP
LICENSED ROOFING CONTRACTOR	EMAIL	Day Time Phone
ADDRESS	City	State & ZIP



## OWNER AND APPLICANT INFORMATION

No error or omission in either the plans or application in having the work completed in any other manner than that it is compliance with the approved plans and the applicable codes and ordinances of the Village of Bensenville and the State of Illinois. All work shall be completed, inspected and approved as required and no occupancy or use of the space shall be permitted until approved in writing by the Department of Community and Economic Development. The applicant shall be responsible for all fees associated with the instant permit, including but limited to cancellation fees, plan review fees, and re-inspection fees. Understanding the preceding statements, I hereby agree to comply and declare that to the best of my knowledge and belief the information provided is true and accurate.

LUKE WRABOWSKI

Applicant's Name (Print)

322 JUDSON

Address

Applicant's Signature

BENSENVILLE

City, State &amp; ZIP

Date

03/31/2017

Day Time Phone

Applicant's Email Address

Correspondence and escrow refunds can only be completed if the address of the applicant is kept current, which is applicant's responsibility. I hereby authorize the above listed applicant to complete the provisions of the applicable code and ordinance.

Property Owner's Name (Print)

Address

Property Owner's Signature

City, State &amp; ZIP

Date

Day Time Phone

## BUILDING INFORMATION (check all that apply)

☐ New Construction☐ Addition☐ Alteration☐ Accessory

Name of Business on Site (non-residential)

Storm-water Permit Required Yes ☐ No ☐

## OFFICE USE ONLY

## FEES:

ESCROW \$105

APPLICATION \$50

PLAN REVIEW \$27

INSPECTIONS (3 X \$35/\$45) \$105

APPLIED on - 4-4-17 OTHER \$

APPROVED - 4-6-17 OTHER \$

TOTAL PERMIT FEE \$287

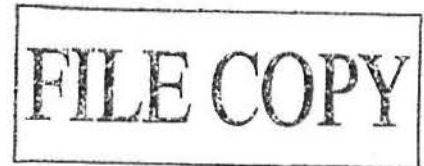
# VILLAGE OF BENSENVILLE

## Department of Community and Economic Development

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### CONDITIONS OF THE PERMIT

**SITE LOCATION:** 322 SOUTH JUDSON STREET  
**INTENDED USE:** RS-5  
**APPLICATION NO:** 6882  
**APPLICATION TYPE:** SINGLE FAMILY ACC/ALT/REP  
**DESCRIPTION OF WORK:** Deck



- 
1. All work whether approved or not shall be in compliance with the applicable codes and ordinances.
  2. Contact the Community and Economic Development Department 24 hours in advance at 630-350-3413 for any necessary inspections.
  3. No work except what has been approved or required shall be permitted through the execution of this permit. No changes to the approved plans will be permitted without authorization by the Department of Community and Economic Development in writing.
  4. THESE PLANS & CONDITIONS MUST BE AT THE JOB SITE AND AVAILABLE FOR EACH INSPECTION. If the approved copy is not available, the inspection will not be conducted and the report shall be marked "Not Approved." DO NOT REMOVE THESE CONDITIONS FROM THE PLANS.
  5. SPECIAL CONDITIONS TO APPLICATION NUMBER 6882

#### PLAN EXAMINER REVIEW

All conditions are mandatory, changes on the approved plans/documents will not be permitted without written authorization from the Community & Economic Development Department. Failure to comply with the preceding conditions will invalidate the approval of this permit.

All work must be inspected in accordance with the inspection list provided with this permit. Work concealed without the required inspection and approval must be exposed for inspection (at owner's/contractor's expense) as directed by the Village Inspector.

The completion of this project and the bond refund process is subject to final inspection and approval by the Village Inspector(s). NOTE: Items not identified during this review will be addressed.

Code to follow is the 2015 international residential code.

All structural members in deck construction (joist, beams, etc.) must be of pressure treated wood. Other areas of the structure may be of wood that is naturally resistant to decay and fungus (cedar, redwood, etc.). All hardware (nails, bolts, hangers, post brackets, etc.) must be galvanized.

Deck must be supported on concrete piers a minimum of 8 inches in diameter, minimum depth of 42 inches below grade and a minimum of 4 inches above grade. NOTE: Postholes are inspected and approved prior to concrete pour and wood posts are not allowed to be buried in concrete.

Ledger Boards. Ledger boards shall be attached to the rim joist or other approved wooden structural framing member of the house with minimum 1/2 inch diameter carriage bolts. (Minimum 1/2 lag bolts may be used in existing construction where the rim joist has been enclosed by the interior construction.) Said bolts shall be installed no more than sixteen (16) inches on center, except that where lag bolts are used and the span of the joist exceeds 10 feet-0 inches, the bolts shall be spaced at no less than twelve (12) inches on center. Bolts shall be installed in an alternating top to bottom or (stitch bolt) pattern, and at least one bolt shall be located between 2 inches and 5 inches of each end or splice. The deck, including the ledger board, shall not be supported on or by stone or masonry veneer.

Proper fasteners are required on joist hangers and with be inspected. (save boxes to verify)

Flashing is required at the ledger board where it attaches to the house.

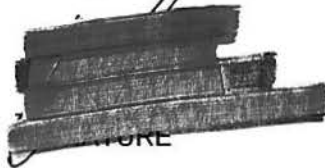
for stairs the riser height shall be not more than 7 3/4 inches and the tread depth shall be not less than 10 inches.

Plans are approved as noted above

All work must be performed in a neat and workmanlike manner by persons who are skilled in their trades in full performance with the Village Code. All work must be inspected in accordance with the inspection lists provided with this permit. Owner/Contractor is responsible to expose any work concealed without the required inspection and approval.

The completion of this project and the bond refund process is subject to the final inspection and approval by the Village Inspector. NOTE: All debris and landscaping must be returned to original conditions prior to final inspection.

Having read and understood the preceding conditions, I hereby agree to comply with them.

A black rectangular redaction box covering the signature of the person agreeing to the conditions.

LUCE  
NAME (PRINT)

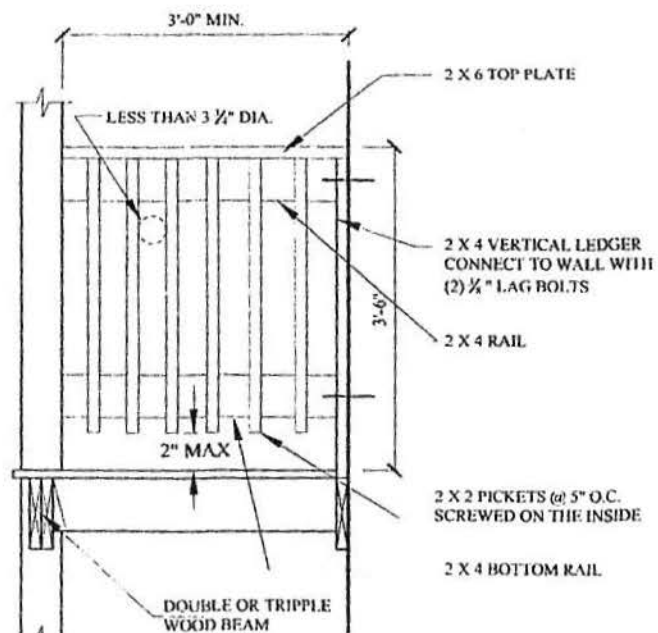
APR/10/2017  
DATE



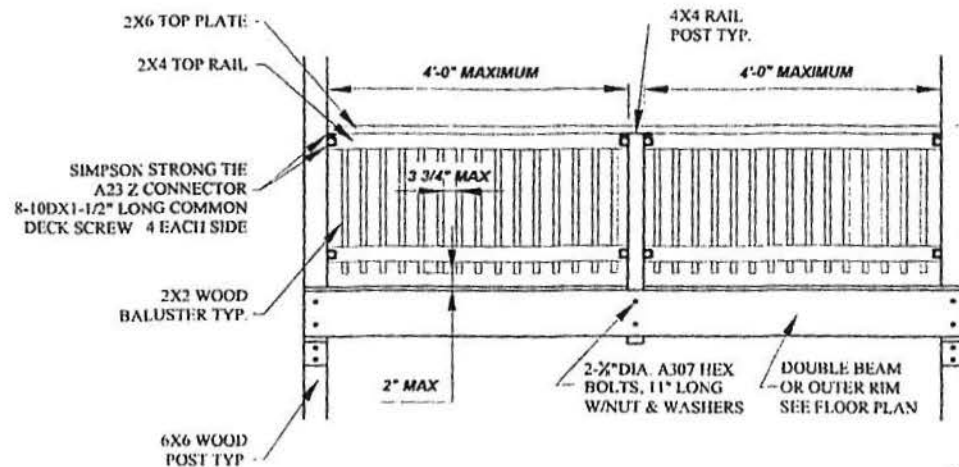
CARRIAGE BOLTS.

OOD HEADER,  
IE PLAN FOR SIZE

3 CARRIAGE BOLTS TO  
NOWEL POST OR  
MAIN WOOD POST



DETAIL 5D



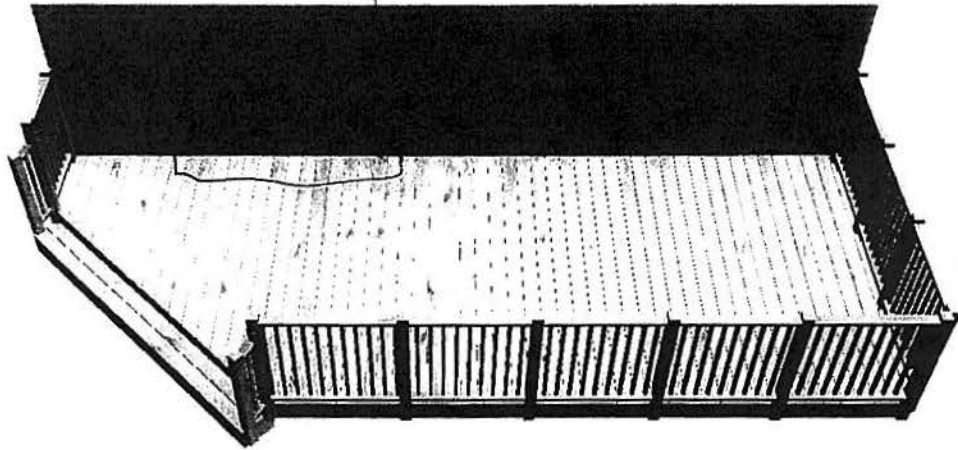
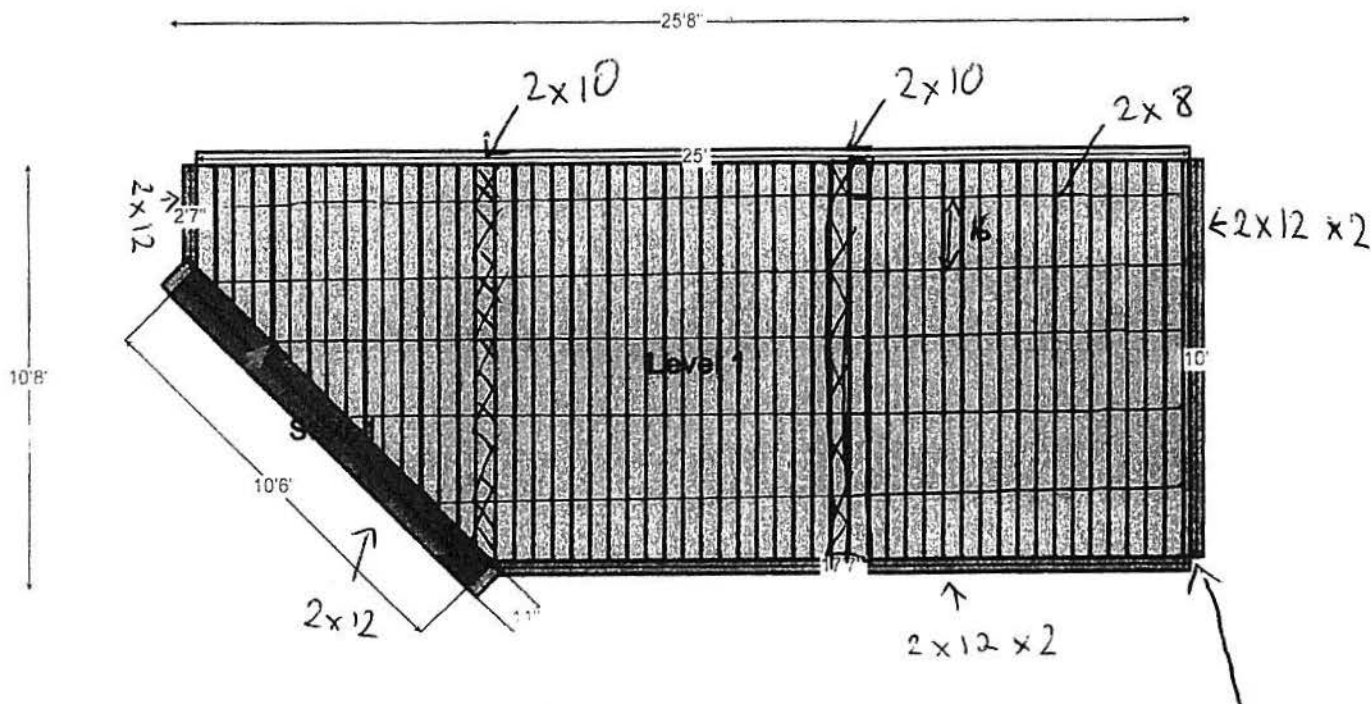

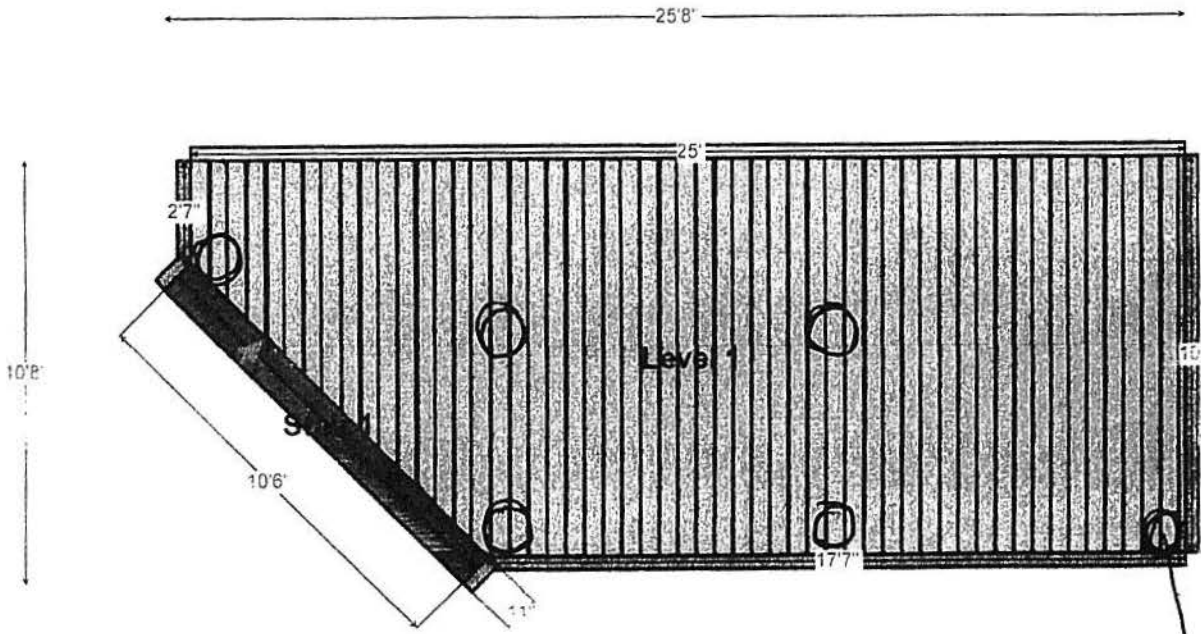


Illustration intended to show general deck size and shape. Some options selected may not be shown for picture clarity.

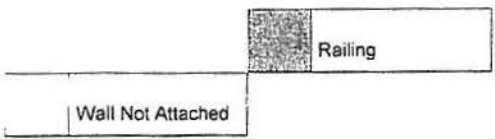
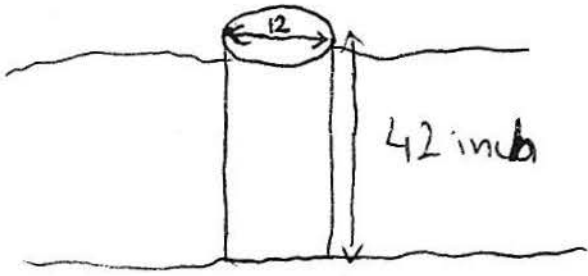


	 Railing
Wall Not Attached	

RECEIVED  
APR 04 2017  
By \_\_\_\_\_



concrete footing



RECEIVED  
APR 04 2017  
By \_\_\_\_\_



**BENSENVILLE**  
COMMUNITY & ECONOMIC  
DEVELOPMENT

Village of Bensenville  
12 S. Center Street  
Bensenville, IL 60106  
630.350.3413

### INSPECTION REPORT

SITE ADDRESS: 322 Judson St INSPECTION DATE: 4-10-17 (AM) PM

INSPECTOR ASSIGNED: Louie Czerwin PERMIT NO.: 6882

INSPECTION TYPE: pre-pour

NOTES: 6 holes 42"

*(This section contains multiple horizontal lines for additional notes, which are currently blank.)*

**APPROVED**

**NOT APPROVED**

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RECEIVED BY: 

INSPECTOR: Louie Czerwin

## INSPECTION REPORT

SITE ADDRESS: 322 JUDSON INSPECTION DATE: 4-19-2017 AM/PM  
INSPECTOR ASSIGNED: DEMMIS HEATLEY PERMIT NO.: 6882-50266  
INSPECTION TYPE: ROUGH FRAMING - DECK  
NOTES: APPROVED

**APPROVED**

**NOT APPROVED**

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RECEIVED BY: \_\_\_\_\_

INSPECTOR: Demis Heatley





**BENSENVILLE**  
COMMUNITY & ECONOMIC  
DEVELOPMENT

**Village of Bensenville**  
12 S. Center Street  
Bensenville, IL 60106  
630.350.3413

### INSPECTION REPORT

SITE ADDRESS: 322 Judson INSPECTION DATE: 7-26-17 AM/PM

INSPECTOR ASSIGNED: Dan Burrows PERMIT NO.: 6882

INSPECTION TYPE: Final Deck 50229

NOTES: Completed

APPROVED

NOT APPROVED

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RECEIVED BY: \_\_\_\_\_ INSPECTOR: