



12 South Center Street
Bensenville, IL 60106

Office: 630.350.3404
Fax: 630.350.3428
www.bensenville.il.us

VILLAGE BOARD

October 17, 2017

President
Frank DeSimone

Board of Trustees
Rosa Carmona
Ann Franz
Agneszka "Annie" Jaworska
McLane Lomax
Nicholas Pancola Jr.
Armando Perez

Village Clerk
Nancy Quinn

Village Manager
Evan K. Summers

Ms. Julie Perez
322 Judson Street
Bensenville, Illinois 60106

Re: October 16, 2017 FOIA Request

Dear Ms. Perez:

I am pleased to help you with your October 16, 2017 Freedom of Information Act ("FOIA"). The Village of Bensenville received your request on October 16, 2017. You requested copies of the items indicated below:

"All building permits and details of all inspections done for 322 Judson Street in the period from October 2014 through August 2017. Any permits pertaining to a deck as well."

After a search of Village files, the following documents are enclosed to fulfill your request:

- 1) Village of Bensenville Permit Application No. 5976. (15 pgs.)
- 2) Village of Bensenville Permit Application No. 6882. (11 pgs.)

These are all of the documents that can be discovered responsive to your request.

Section 7(1)(b) of FOIA provided that "private information" is exempt from disclosure. "Private information" is defined in FOIA as, "unique identifiers, including a person's social security number, driver's license number, employee identification number, biometric identifiers, personal financial information, passwords or other access codes, medical records, home or personal telephone numbers, and personal email addresses. Private information also includes home address and personal license plates, except as otherwise provided by law or when compiled without possibility of attribution to any person." 5 ILCS 140/2(c-5). Consequently, certain unique identifiers have been redacted from the records being provided.

Pursuant to Section 9 of the FOIA, 5 ILCS 140/9, I am required to advise you that I, the undersigned Freedom of Information Officer, reviewed and made the foregoing determination to deny a portion of your FOIA Request as indicated. Should you believe that this Response constitutes an improper denial of your request, you may appeal such by filing a request for review within sixty (60) days of the date of this letter with the Public Access Counselor of the Illinois Attorney General's Office, Public Access Bureau, 500 South Second Street, Springfield, Illinois 62706; telephone 1-887-299-FOIA; e-mail: publicaccess@atg.state.il.us. You may also have a right of judicial review of the denial under Section 11 of FOIA, 5 ILCS 140/11.

Do not hesitate to contact me if you have any questions or concerns in connection with this response.

Very truly yours,


Corey Williamsen
Freedom of Information Officer
Village of Bensenville

VILLAGE OF BENSENVILLE

RESIDENTIAL PERMIT APPLICATION

PERMIT INFORMATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

SITE ADDRESS <u>322 YUDSON ST BENSENVILLE IL</u>	UNIT NUMBER <u>KS-5</u>
DESCRIPTION OF WORK 1 <u>REMODELING KITCHEN</u>	ZONING DISTRICT <u>8000</u>
DESCRIPTION OF WORK 2	ESTIMATED COST

CONTRACTOR INFORMATION

GENERAL CONTRACTOR <u>LUCE / PAULINA BANAS</u>	Email Address	Day Time Phone
Address <u>322 YUDSON ST BENSENVILLE</u>	City, State, & ZIP Code	
LICENSED PLUMBING CONTRACTOR	Email Address	Day Time Phone
Address	City, State, & ZIP Code	
LICENSED ELECTRICAL CONTRACTOR	Email Address	Day Time Phone
Address	City, State, & ZIP Code	
LICENSED ROOFING CONTRACTOR	Email Address	Day Time Phone
Address	City, State, & ZIP Code	

RECEIVED
R APR 14 2016
By MP

OWNER & APPLICANT INFORMATION

No error or omission in either the plans or application shall relieve the applicant in having the work completed in any other manner than that which is in compliance with the approved plans and the applicable codes and ordinances of the Village of Bensenville and the State of Illinois. All work shall be completed, inspected, and approved as required and no occupancy or use of the space shall be permitted until approved in writing by the Department of Community and Economic Development. The Applicant shall be responsible for all fees associated with the instant permit, including but not limited to cancellation fees, plan review fees, and reinspection fees. Understanding the preceding statements, I hereby agree to comply and declare that to the best of my knowledge the information provided is true and accurate.

Applicant's Name (Print) <u>LUCE / PAULINA BANAS</u>	Applicant's Signature	Date
Address <u>322 YUDSON ST</u>	City, State, & ZIP Code <u>BENSENVILLE IL</u>	Day Time Phone
Correspondence and escrow refunds can only be completed if the address of the applicant is kept current, which is the applicant's responsibility.		
I hereby authorize the above listed applicant to complete the provisions of the applicable code and ordinances for this permit.		
Property Owner's Name (Print) <u>LUCE / PAULINA BANAS</u>	Property Owner's Signature	Date
Address <u>322 YUDSON ST</u>	City, State, & ZIP Code <u>BENSENVILLE</u>	Day Time Phone

DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT
PHONE: 630.350.3413 FAX: 630.350.3449

12 S. CENTER STREET
BENSENVILLE, IL 60106

Stormwater Permit Required? Yes No

APPLICATION NUMBER 5976

BUILDING INFORMATION (PLEASE check all that apply)

<input type="checkbox"/> New Construction	<input type="checkbox"/> Addition	<input type="checkbox"/> Alteration	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> Single Family Attached Garage			
<input type="checkbox"/> Single Family Detached Garage			
<input type="checkbox"/> 1-Car Garage	<input type="checkbox"/> 2-Car Garage	<input type="checkbox"/> 3-Car Garage	
<input type="checkbox"/> Ranch	<input type="checkbox"/> Split Level	<input type="checkbox"/> 2 Story	
<input type="checkbox"/> 1 Bedroom	<input type="checkbox"/> 2 Bedroom	<input type="checkbox"/> 3 Bedroom	<input type="checkbox"/> 4+ Bedroom
<input type="checkbox"/> Basement	<input type="checkbox"/> Crawlspace	<input type="checkbox"/> Both	
<input type="checkbox"/> Attic Access	<input type="checkbox"/> Open/Vaulted Ceilings		
<input type="checkbox"/> Village Water	<input type="checkbox"/> Well Water		
<input type="checkbox"/> Village Sewer	<input type="checkbox"/> Septic System		
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Tank		
<input type="checkbox"/> Existing Sq.Ft.	<input type="checkbox"/> New Sq.Ft.		

OFFICE USE ONLY

FEES:	MILESTONE DATES:	
ESCROW *	\$ <u>105.00</u>	Applied on: <u>4-14-16</u>
APPLICATION	\$ <u>50.00</u>	Approved on: <u>7-7-16</u>
PLAN REVIEW	\$ <u>27.00</u>	Issued on: <u>07-08-16</u>
INSPECTIONS (8 X \$35)	\$ <u>280.00</u>	Expires on: <u>01-08-17</u>
WATER CONNECTION	\$ <u>0.00</u>	
WATER METER	\$ <u>0.00</u>	
SEWER CONNECTION	\$ <u>0.00</u>	
FIRE METER	\$ <u>0.00</u>	
OTHER	\$ <u>0.00</u>	
TOTAL PERMIT FEE \$ <u>462.00</u>		Approved by: <u>D</u>

*All failed inspections will be charged against the escrow at the standard inspection rates. After final approvals and occupancy have been issued, the remaining escrow will be refunded to the payee via first class mail. In the event the cost of failed inspections exceeds the escrow amount, no further inspections will be completed until an additional escrow has been received.

VILLAGE OF BENSENVILLE

Department of Community and Economic Development

CONDITIONS OF THE PERMIT

SITE LOCATION: 322 SOUTH JUDSON STREET
INTENDED USE: RS-5
APPLICATION NO.: 5976
APPLICATION TYPE: SINGLE FAMILY ACC/ALT/REP
DESCRIPTION OF WORK: REMODELING

FILE COPY

1. All work whether approved or not shall be in compliance with the applicable codes and ordinances.
2. Contact the Community and Economic Development Department 24 hours in advance at 630-350-3413 for any necessary inspections.
3. No work except what has been approved or required shall be permitted through the execution of this permit. No changes to the approved plans will be permitted without authorization by the Department of Community and Economic Development in writing.
4. THESE PLANS & CONDITIONS MUST BE AT THE JOB SITE AND AVAILABLE FOR EACH INSPECTION. If the approved copy is not available, the inspection will not be conducted and the report shall be marked "Not Approved." DO NOT REMOVE THESE CONDITIONS FROM THE PLANS.
5. SPECIAL CONDITIONS TO APPLICATION NUMBER 5976

All conditions are mandatory, changes on the approved plans/documents will not be permitted without written authorization from the Community & Economic Development Department. Failure to comply with the preceding conditions will invalidate the approval of this permit.

All work must be inspected in accordance with the inspection list provided with this permit. Work concealed without the required inspection and approval must be exposed for inspection (at owner's/contractor's expense) as directed by the Village Inspector.

Permit is limited to interior remodeling of an existing single family dwelling.
Note this project was started without a permit. Some areas of new drywall will have to be removed to verify the code compliance of an inspection.

Remove closet in basement storage room. The closet makes this room a bedroom and the room doesn't have an emergency escape and rescue opening. This room shall not be used for sleeping purposes without an approved emergency escape and rescue opening.

Not less than 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75 percent of the lamps permanently installed lighting fixtures shall contain only high-efficacy lamps.

Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling cover

Any new duct work, air handler and filter boxes shall be sealed

Attic access shall be weatherstripped and insulated to the same R-value as the surrounding area. In this case an R-49. Attic access shall all have a retainer of some type to prevent any loose-fill insulation from spilling into the living space below.

Bathroom exhaust fans shall exhaust to the outdoors.

Plan indicate overcurrent protection devices are located in the bathroom, 2015 National Electrical Code does not allow overcurrent protection devices to be located in bathrooms and not in the vicinity of easily ignitable material, such as clothes closets. Owner has indicated the panel will be re-located.

Plans are approved as noted above.

All work must be performed in a neat and workmanlike manner by persons who are skilled in their trades in full performance with the Village Code. All work must be inspected in accordance with the inspection lists provided with this permit. Owner/Contractor is responsible to expose any work concealed without the required inspection and approval.

The completion of this project and the bond refund process is subject to the final inspection and approval by the Village Inspector. NOTE: All debris shall be removed and landscaping must be returned to original conditions prior to final inspection.

Having read and understood the preceding conditions, I hereby agree to comply with them.



SIGNATURE

Loic Grysbowik

NAME (PRINT)

7/8/16

DATE

VILLAGE OF BENSENVILLE
COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT
12 SOUTH CENTER STREET, BENSENVILLE, ILLINOIS 60106

APPLICATION NUMBER: 5976

ADDRESS 322 SOUTH JUDSON STREET BENSENVILLE

OWNER BANAS, PAULINA

CONTRACTOR BANAS, PAULINA

The following inspections are required to be passed:

ROUGH ELECTRICAL (EI)

FINAL PLUMBING (PI)

ROUGH PLUMBING (PI)

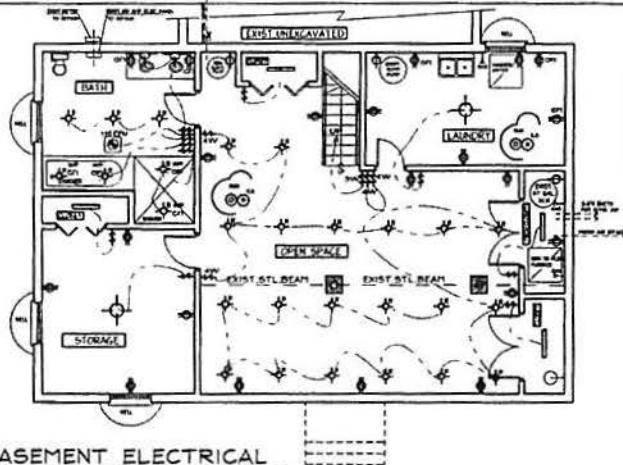
FINAL ELECTRIC (EI)

ROUGH MECHANICAL (BI)

FINAL MECHANICAL (BI)

ROUGH FRAMING (BI)

FINAL INSPECTION (BI)



1 BASEMENT ELECTRICAL
WIRING PLAN 1/4" = 1'-0"



2 1ST FL. ELECTRICAL
WIRING PLAN 1/4" = 1'-0"

ELEC.NOTES

EXIST 100 AMP ELECTRIC SERVICE TO REMAIN

NOTE:
ALL KITCHEN RECEPTACLES SHOULD BE 20 AMP GFCI
PROTECTED & LOCATED SO THAT NO POINT IS MORE THAN 24"
FROM A RECEPTACLE POINT. DISCONNECT SWITCHES FOR DISPOSAL
& DISHWASHER ARE REQUIRED. ALL CEILING RECEPTACLES SHALL BE
FAN RATED.

OTE:
PROVIDE AN 110 V. AC BATTERY BACK-UP SMOKE ALARM TO BE INSTALLED OUTSIDE
SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS; WITHIN 15'
EACH ALARM SHALL BE INTERCONNECTED

NOTE: SMOKE DETECTORS INSTALLED IN ROOMS WITH SLOPED CEILINGS SHALL BE LOCATED AT A POINT NO MORE THAN 12" FROM THE HIGHEST POINT OF CEILING.

OTE: PROVIDE SEPARATE DEDICATED BRANCH CIRCUITS AT THE FOLLOWING LOCATIONS: FURNACE/HEATING PLANT/CENTRAL AIR UNIT, THROUGH-WALL HEATING / AIR CONDITIONING UNITS, BUILT-IN MICROWAVE OVENS, SUMP PUMPS, EJECTOR PUMPS.

NOTE: INSTALL WALL RECEPTACLES SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET MEASURED HORIZONTALLY FROM THE RECEPTACLE IN THAT WALL.

ALL 20-AMP CIRCUITS MUST UTILIZE ONLY 20-AMP RECEPTACLES
AND EJECTOR PUMPS

10. SURFACE MOUNTED FLUORESCENT FIXTURES MUST BE
MOUNTED A MINIMUM OF 12" AWAY FROM THE NEAREST POINT OF STORAGE/RECESSED
FLUORESCENT, ACCESSSED FLUORESCENT AND SURFACE MOUNTED FLUORESCENT FIXTURES.
FLUORESCENT FIXTURES MUST BE MOUNTED A MINIMUM OF 6" AWAY FROM THE NEAREST POINT OF STORAGE.
FLUORESCENT FIXTURES IN CLOSETS MUST HAVE A COMPLETELY ENCLOSED LAMP.

ALL BEDROOMS SHALL BE ARC-FAULT PROTECTED IF REMODELED.

NOTE:
ALL EXISTING ELECTRICAL NOT DISTURBED
DURING CONSTRUCTION TO REMAIN. ALL CONDUITS
ABANDONED TO BE REMOVED. ALL WIRES PULLED
OUT PLUGGED OR CAPPED. BREAKERS ON ELECTRICAL
PANEL & PLUG

H.V.A.C. NOTES

H.V.A.C. EQUIPMENT:

REMOVE EXISTING FURNACE IN THE BSMNT

(1) ONE-NEW FURNACE-
LOCATED IN THE BASEMENT FOR THE WHOLE HOUSE

92 PLUS EFFICIENCY; SELF-COMB. 75,000 BTU INPUT

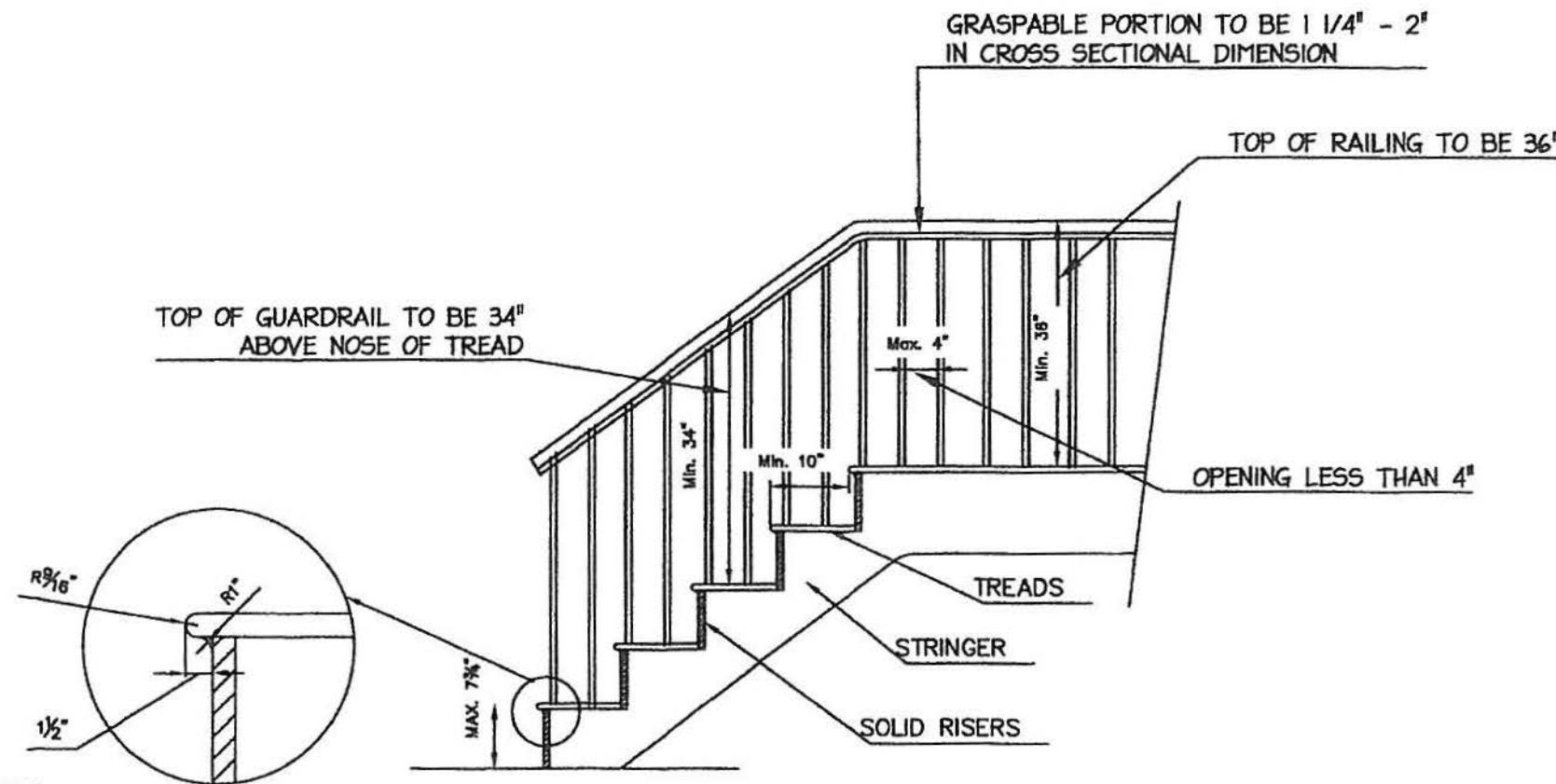
ONE NEW A.C. CONDENSING UNIT
#1 - 2.5 TON, 30,000 BTU COOLING CAPACITY

PROJECT NAME: **14 B&B FARM IN WOODS, BENTON,
ADDRESS: 224 BENTON, BENTON, WISCONSIN**

service 05/31/11

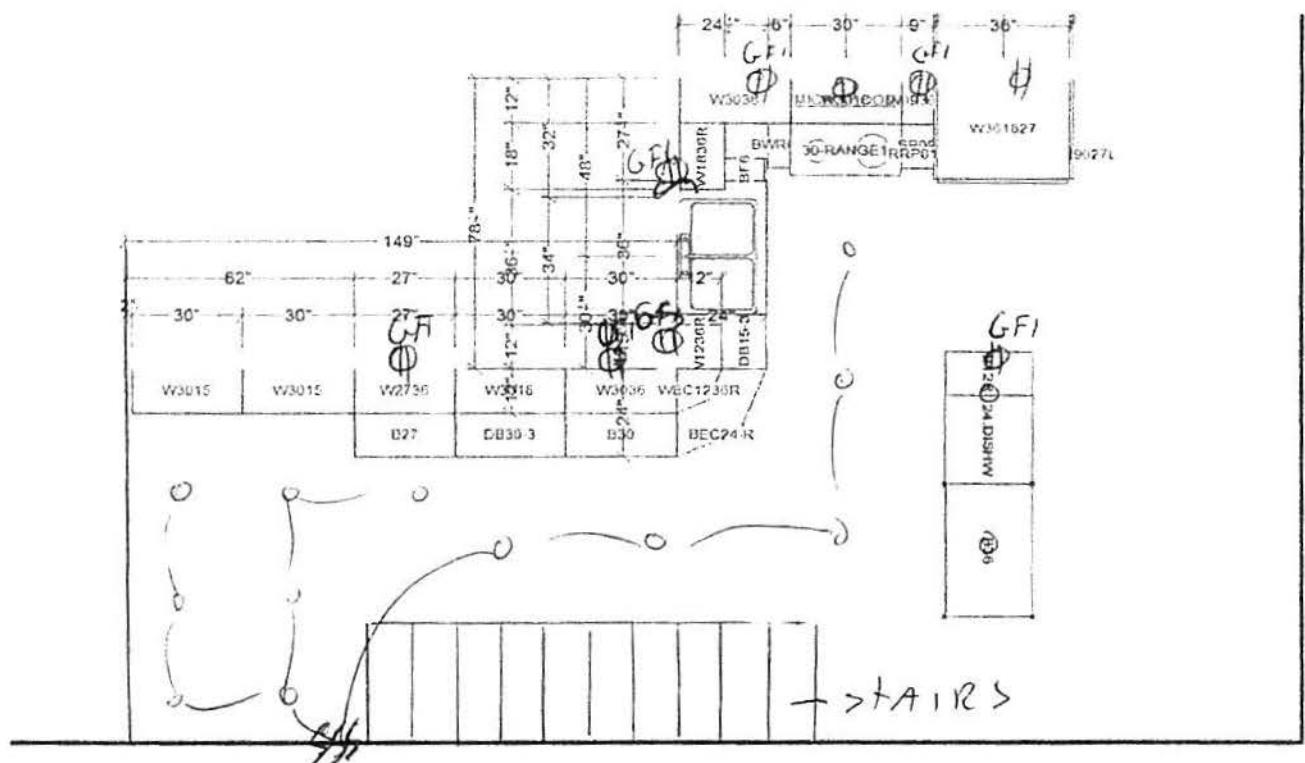
A2

RECEIVED
APR 14 2016
By _____



PROFILE:

THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN $\frac{9}{16}$ INCH.
A NOSING NOT LESS THAN $\frac{3}{4}$ INCH BUT NOT MORE THAN $1\frac{1}{2}$ INCHES SHALL BE PROVIDED ON STAIRWAYS
WITH SOLID RISERS. BEVELING OF NOSING SHALL NOT EXCEED $\frac{1}{2}$ INCH. RISERS SHALL BE VERTICAL OR
SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN
30 DEGREES FROM THE VERTICAL.



44 - UFI OUTLET

S - SWITCH OUTLETS

O - RECESSED CAN LIGHTS

(1C, AIR TIGHT) INSOLATED





Village of Bensenville
12 S. Center Street
Bensenville, IL 60106
630.350.3413

INSPECTION REPORT

SITE ADDRESS: 322 Jodsa INSPECTION DATE: 12-19-16 AM/PM

INSPECTOR ASSIGNED: Don PERMIT NO.: 5976

INSPECTION TYPE: Service

NOTES: _____

APPROVED

NOT APPROVED

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT BY TELEPHONE, 630.350.3413 OR BY WRITING, 12 S. CENTER STREET, BENSENVILLE, IL 60106.

RECEIVED BY: _____ INSPECTOR: _____



Village of Bensenville
12 S. Center Street
Bensenville, IL 60106
630.350.3413

INSPECTION REPORT

SITE ADDRESS: 322 TUDSON INSPECTION DATE: 7/26/2017 AM

INSPECTOR ASSIGNED: DENNIS HERTZ PERMIT NO.: _____

INSPECTION TYPE: Plumbing Review

NOTES: 1) water temps in tubs shown 187°F
2) water temps in shower 147°F - cannot exceed
115°F.

3) main level shower needs vacuum breaker
4) main level tub on concrete floor needs vacuum
breaker

APPROVED

NOT APPROVED

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN _____ DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT BY TELEPHONE 30.350.3413 OR BY WRITING, 12 S. CENTER STREET, BENSENVILLE, IL 60106.

RECEIVED BY: _____

INSPECTOR: Dennis L. Hertz



Village of Bensenville
12 S. Center Street
Bensenville, IL 60106
630.350.3413

INSPECTION REPORT

SITE ADDRESS: 322 TUDSON

INSPECTION DATE: 7-26-2017 AM/PM

INSPECTOR ASSIGNED: DENNIS HORTON

PERMIT NO.: 5476-44675

INSPECTION TYPE: _____

NOTES: _____
NO BLDG HOME

Home call for REINSPECTION

REINSPECT ID #

53285

APPROVED

NOT APPROVED

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN _____ DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT BY TELEPHONE, 630.350.3413 OR BY WRITING, 12 S. CENTER STREET, BENSENVILLE, IL 60106.

RECEIVED BY: _____ INSPECTOR: Dennis L. Horton



BENSENVILLE COMMUNITY & ECONOMIC DEVELOPMENT

Village of Bensenville
12 S. Center Street
Bensenville, IL 60106
630.350.3413

INSPECTION REPORT

SITE ADDRESS: 322 Judson St INSPECTION DATE: 7-26-17 AM/PM

INSPECTOR ASSIGNED: Dan Bryant PERMIT NO.: 5976

INSPECTION TYPE: FINAL B1dg 44674

NOTES: _____

APPROVED

NOT APPROVED

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN _____ DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT BY TELEPHONE, 413 OR BY WRITING, 12 S. CENTER STREET, BENSONVILLE, IL 60106.

RECEIVED BY: _____ INSPECTOR: _____



BENSENVILLE
COMMUNITY & ECONOMIC
DEVELOPMENT

Village of Bensenville
12 S. Center Street
Bensenville, IL 60106
630.350.3413

INSPECTION REPORT

SITE ADDRESS: 322 Judson st INSPECTION DATE: 7-26-17 AM/PM

INSPECTOR ASSIGNED: Dave Burrow PERMIT NO.: 5976

INSPECTION TYPE: FINAL ELE 44676

NOTES: ① GARBAGE Disposal only G.F.T
Completed when here

APPROVED

DB

NOT APPROVED

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN _____ DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT BY TELEPHONE: 3413 OR BY WRITING, 12 S. CENTER STREET, BENGENVILLE, IL 60106.

RECEIVED BY: INSPECTOR:



Village of Bensenville
12 S. Center Street
Bensenville, IL 60106
630.350.3413

INSPECTION REPORT

SITE ADDRESS: 322 Judson INSPECTION DATE: 7-26-17 AM/PM
INSPECTOR ASSIGNED: Dan Bunnell PERMIT NO.: 5976
INSPECTION TYPE: FINAL Mech 44677
NOTES: Existing - Replaced units

APPROVED

Bob

NOT APPROVED

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN 10 DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT AT TEL. 608-630-350-3413 OR BY WRITING, 12 S. CENTER STREET, BENSENVILLE, IL 60106.

RECEIVED BY: INSPECTOR:



Village of Bensenville
12 S. Center Street
Bensenville, IL 60106
630.350.3413

INSPECTION REPORT

SITE ADDRESS: 322 JUANSON INSPECTION DATE: 7-07-2017 AM PM

INSPECTION DATE: 7-87-2017 AM PM

INSPECTOR ASSIGNED: Dennis Hunter PERMIT NO.: 5976-53d85-

PERMIT NO.: 5976-53285-

INSPECTION TYPE: Plumbing First

NOTES:

APPROVED

NOT APPROVED

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN _____ DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT, 350.3413 OR BY WRITING, 12 S. CENTER STREET, BENSENVILLE, IL 60106.

RECEIVED BY:

INSPECTOR:

STREET, BENSENVILLE, IL 60106.
Deborah

VILLAGE OF BENSENVILLE

Department of Community and Economic Development
12 S. Center St. Bensenville, IL 60106
Phone: 630.350.3413 Fax: 630.350.3449

PERMIT APPLICATION

Application Number

6882

 RESIDENTIAL MULTI-RESIDENTIAL NON-RESIDENTIAL

PERMIT INFORMATION

322 JUDSON ST

SITE ADDRESS DECK

UNIT NUMBER

P.I.N.

RS-5

DESCRIPTION OF WORK

ESTIMATED COST

250⁰⁰

GENERAL CONTRACTOR OUHFER	EMAIL	Day Time Phone
ADDRESS 322 JUDSON	CITY BENSENVILLE	State & ZIP IL 60106
LICENCED PLUMBING CONTRACTOR	EMAIL	Day Time Phone
ADDRESS	CITY	State & ZIP
LICENSED ELECTRICAL CONTRACTOR	EMAIL	Day Time Phone
ADDRESS	CITY	State & ZIP
LICENSED ROOFING CONTRACTOR	EMAIL	Day Time Phone
ADDRESS		

RECEIVED
APR 04 2017
By [Signature]
Issued 4/10/17

OWNER AND APPLICANT INFORMATION

No error or omission in either the plans or application in having the work completed in any other manner than that it is in compliance with the approved plans and the applicable codes and ordinances of the Village of Bensenville and the State of Illinois. All work shall be completed, inspected and approved as required and no occupancy or use of the space shall be permitted until approved in writing by the Department of Community and Economic Development. The applicant shall be responsible for all fees associated with the instant permit, including but limited to cancellation fees, plan review fees, and re-inspection fees. Understanding the preceding statements, I hereby agree to comply and declare that to the best of my knowledge and belief the information provided is true and accurate.

LUKE WRABOWSKI

Applicant's Name (Print)

322 JUDSON

Address

Applicant's Signature

BENSENVILLE

City, State & ZIP

03/31/2017

Date

Day Time Phone

Applicant's Email Address

Correspondence and escrow refunds can only be completed if the address of the applicant is kept current, which is applicant's responsibility.
I hereby authorize the above listed applicant to complete the provisions of the applicable code and ordinance.

Property Owner's Name (Print)

Property Owner's Signature

Date

Address

City, State & ZIP

Day Time Phone

BUILDING INFORMATION (check all that apply)

 New Construction Addition Alteration Accessory

Name of Business on Site (non-residential)

Storm-water Permit Required Yes No

OFFICE USE ONLY

FEES:

ESCROW \$105

APPLICATION \$50

PLAN REVIEW \$27

INSPECTIONS (3 X \$35/\$45) \$105

APPLIED ON - 4-4-17 OTHER \$

APPROVED - 4-6-17 OTHER \$

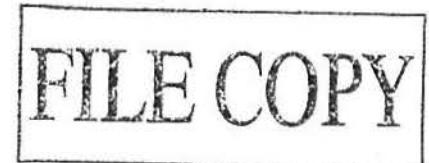
TOTAL PERMIT FEE \$287

VILLAGE OF BENSENVILLE

Department of Community and Economic Development

CONDITIONS OF THE PERMIT

SITE LOCATION: 322 SOUTH JUDSON STREET
INTENDED USE: RS-5
APPLICATION NO.: 6882
APPLICATION TYPE: SINGLE FAMILY ACC/ALT/REP
DESCRIPTION OF WORK: Deck



1. All work whether approved or not shall be in compliance with the applicable codes and ordinances.
2. Contact the Community and Economic Development Department 24 hours in advance at 630-350-3413 for any necessary inspections.
3. No work except what has been approved or required shall be permitted through the execution of this permit. No changes to the approved plans will be permitted without authorization by the Department of Community and Economic Development in writing.
4. THESE PLANS & CONDITIONS MUST BE AT THE JOB SITE AND AVAILABLE FOR EACH INSPECTION. If the approved copy is not available, the inspection will not be conducted and the report shall be marked "Not Approved." DO NOT REMOVE THESE CONDITIONS FROM THE PLANS.
5. SPECIAL CONDITIONS TO APPLICATION NUMBER 6882

PLAN EXAMINER REVIEW

All conditions are mandatory, changes on the approved plans/documents will not be permitted without written authorization from the Community & Economic Development Department. Failure to comply with the preceding conditions will invalidate the approval of this permit.

All work must be inspected in accordance with the inspection list provided with this permit. Work concealed without the required inspection and approval must be exposed for inspection (at owner's/contractor's expense) as directed by the Village Inspector.

The completion of this project and the bond refund process is subject to final inspection and approval by the Village Inspector(s). NOTE: Items not identified during this review will be addressed.

Code to follow is the 2015 international residential code.

All structural members in deck construction (joist, beams, etc.) must be of pressure treated wood. Other areas of the structure may be of wood that is naturally resistant to decay and fungus (cedar, redwood, etc.). All hardware (nails, bolts, hangers, post brackets, etc.) must be galvanized.

Deck must be supported on concrete piers a minimum of 8 inches in diameter, minimum depth of 42 inches below grade and a minimum of 4 inches above grade. NOTE: Postholes are inspected and approved prior to concrete pour and wood posts are not allowed to be buried in concrete.

Ledger Boards. Ledger boards shall be attached to the rim joist or other approved wooden structural framing member of the house with minimum 1/2 inch diameter carriage bolts. (Minimum 1/2 lag bolts may be used in existing construction where the rim joist has been enclosed by the interior construction.) Said bolts shall be installed no more than sixteen (16) inches on center, except that where lag bolts are used and the span of the joist exceeds 10 feet-0 inches, the bolts shall be spaced at no less than twelve (12) inches on center. Bolts shall be installed in an alternating top to bottom or (stitch bolt) pattern, and at least one bolt shall be located between 2 inches and 5 inches of each end or splice. The deck, including the ledger board, shall not be supported on or by stone or masonry veneer.

Proper fasteners are required on joist hangers and will be inspected. (save boxes to verify)

Flashing is required at the ledger board where it attaches to the house.

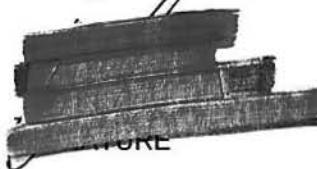
for stairs the riser height shall be not more than 7 3/4 inches and the tread depth shall be not less than 10 inches.

Plans are approved as noted above

All work must be performed in a neat and workmanlike manner by persons who are skilled in their trades in full performance with the Village Code. All work must be inspected in accordance with the inspection lists provided with this permit. Owner/Contractor is responsible to expose any work concealed without the required inspection and approval.

The completion of this project and the bond refund process is subject to the final inspection and approval by the Village Inspector. NOTE: All debris and landscaping must be returned to original conditions prior to final inspection.

Having read and understood the preceding conditions, I hereby agree to comply with them.

 A redacted signature or stamp, appearing as a dark, horizontal, multi-layered shape.

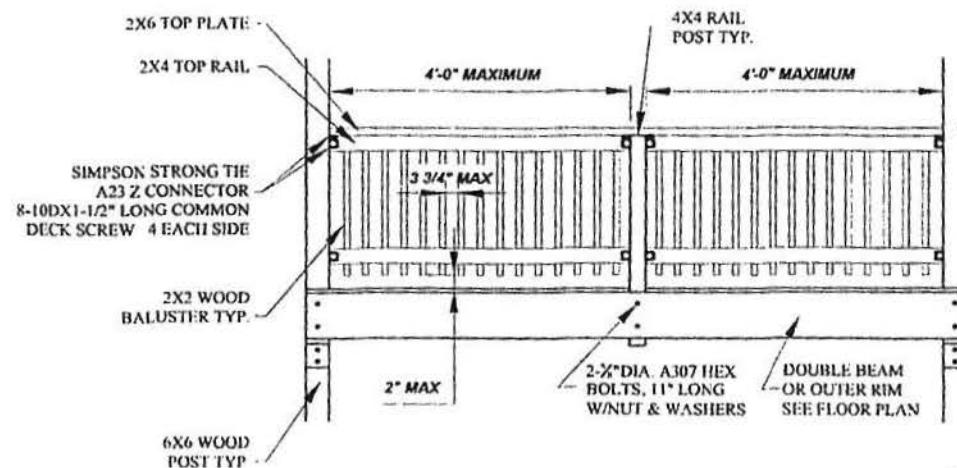
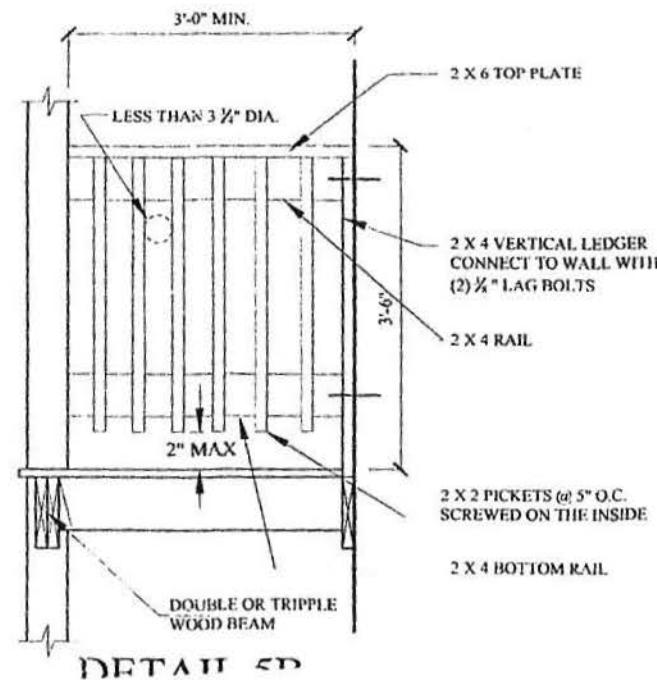
Lucf
NAME (PRINT)

08/10/2017
DATE

CARRIAGE BOLTS.

OOD HEADER.
THE PLAN FOR SIZE.

**3 CARRIAGE BOLTS TO
NIVEL POST OR
MAIN WOOD POST**



Design It: Design Not Saved
Estimate Id: 85850



Page 1 of 3
02/23/17

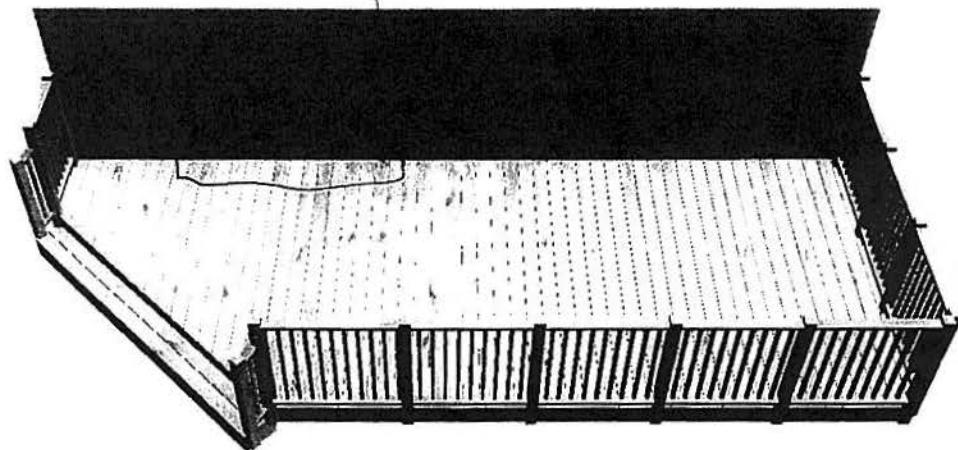
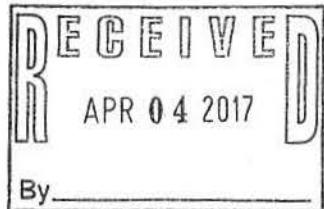
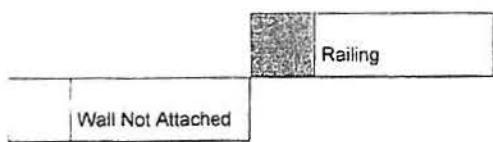
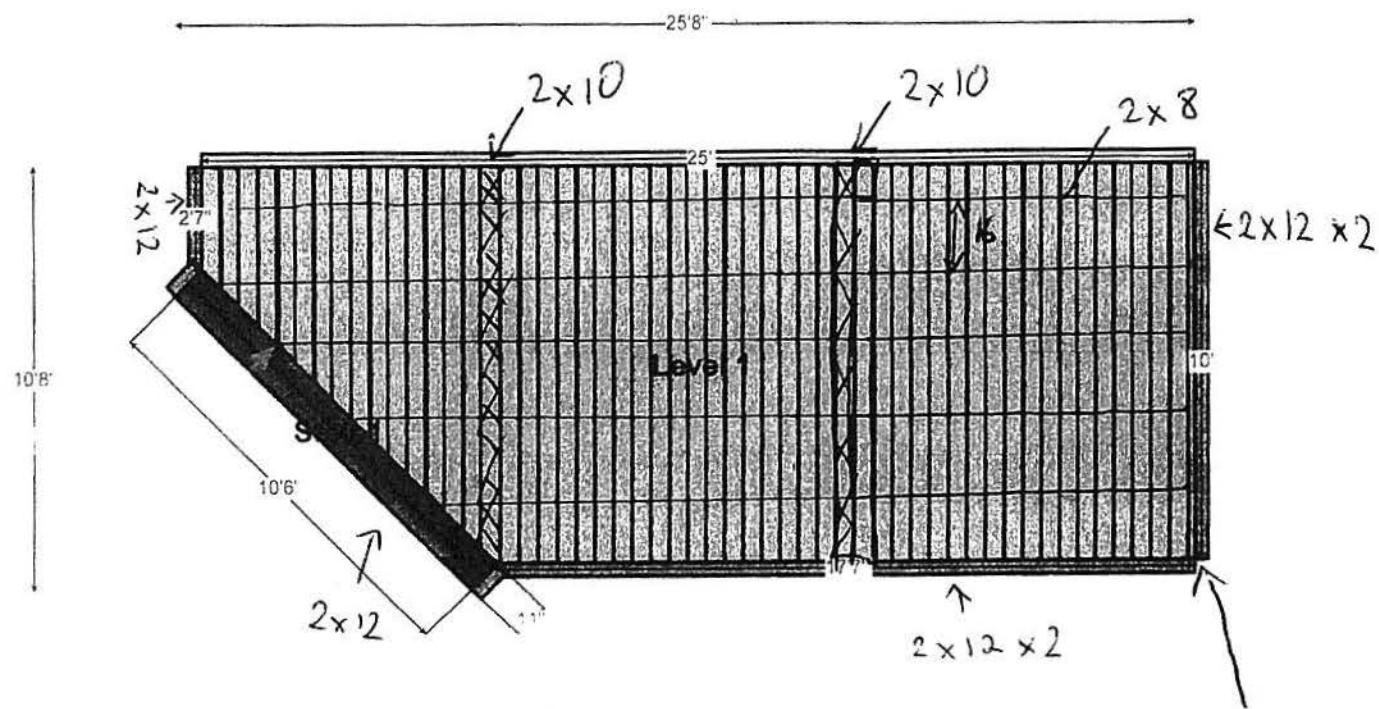
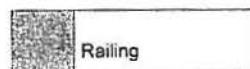
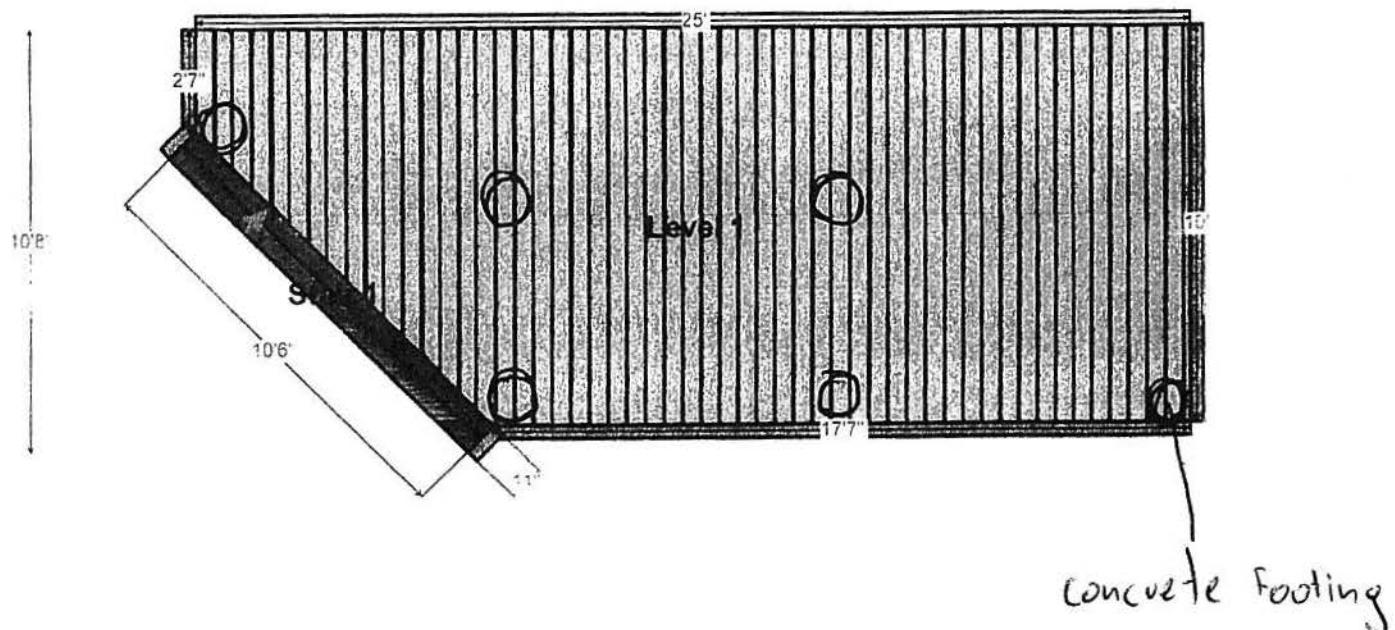


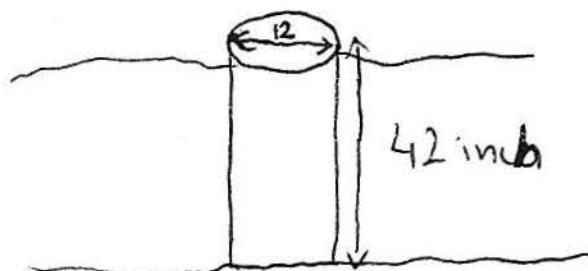
Illustration intended to show general deck size and shape. Some options selected may not be shown for picture clarity.



25'8"



Wall Not Attached





BENSENVILLE
COMMUNITY & ECONOMIC
DEVELOPMENT

Village of Bensenville
12 S. Center Street
Bensenville, IL 60106
630.350.3413

INSPECTION REPORT

SITE ADDRESS: 322 Judson St INSPECTION DATE: 4-10-17 AM PM

INSPECTOR ASSIGNED: Louie Czerwinski PERMIT NO.: 6882

INSPECTION TYPE: *pre poor*

NOTES: 6 holes 42"

Digitized by srujanika@gmail.com

APPROVED

NOT APPROVED

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN 10 DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT BY TELEPHONE, 630.350.3413 OR BY WRITING, 12 S. CENTER STREET, BENSENVILLE, IL 60106.

RECEIVED BY:

INSPECTOR: John Smith



BENSENVILLE
COMMUNITY & ECONOMIC
DEVELOPMENT

Village of Bensenville
12 S. Center Street
Bensenville, IL 60106
630.350.3413

INSPECTION REPORT

SITE ADDRESS: 322 JUDSON INSPECTION DATE: 4-19-2017 AM/PM

INSPECTION DATE: 4-19-2017 AM/PM

INSPECTOR ASSIGNED: DEHMIS HEATLEY PERMIT NO.: 6882-50266

INSPECTION TYPE: Rough Framing - Decl

NOTES: ARMORED

APPROVED

NOT APPROVED

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN 10 DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT BY TELEPHONE 630.350.2413 OR BY WRITING, 12 S. CENTER STREET, BENSENVILLE, IL 60106.

RECEIVED BY:

INSPECTOR:

REET, BENSONVILLE, IL 60106.
Dennis W. Keagy



BENSENVILLE COMMUNITY & ECONOMIC DEVELOPMENT

Village of Bensenville
12 S. Center Street
Bensenville, IL 60106
630.350.3413

INSPECTION REPORT

SITE ADDRESS: 322 Judson INSPECTION DATE: 7-26-17 AM/PM

INSPECTOR ASSIGNED: Dan Brown PERMIT NO.: 6882

INSPECTION TYPE: Final Deck 50229

NOTES: Completed

APPROVED

NOT APPROVED

THIS IS NOT A CERTIFICATE OF OCCUPANCY

YOU ARE HEREBY NOTIFIED TO REMEDY THE CONDITIONS AS STATED ABOVE WITHIN _____ DAYS FROM THE DATE OF THIS ORDER. APPEAL FROM THIS ORDER MAY BE MADE WITHIN 10 DAYS FROM THE DATE OF SERVICE. DIRECT SUCH APPEALS TO THE DIRECTOR OF COMMUNITY AND ECONOMIC DEVELOPMENT BY TELEPHONE 630-350-3413 OR BY WRITING, 12 S. CENTER STREET, BENSENVILLE, IL 60106.

RECEIVED BY:

卷之三

INSPECTOR: