



12 South Center Street
Bensenville, IL 60106

Office: 630.350.3404
Fax: 630.350.3438
www.bensenville.il.us

VILLAGE BOARD

President

Frank DeSimone

Board of Trustees

Rosa Carmona

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Village Clerk

Nancy Quinn

Village Manager

Evan K. Summers

August 7, 2019

Via electronic mail

Ms. Hailey Varner

Quarles & Brady, LLP

hailey.varner@quarles.com

Re: Freedom of Information Act request
Received July 24, 2019

Dear Ms. Varner,

Thank you for writing to the Village of Bensenville ("Village") with your request for information pursuant to the Freedom of Information Act ("FOIA"), 5 ILCS 140/1 *et seq.* Your FOIA request seeks copies of the following records related to the property at 1301 West Irving Park Road in Bensenville:

1. All documents and communications related to the property from November 15, 2012, to the present;
2. All documents and communications related to any fuel tanks at the property;
3. All communications between the Village, the Office of the Illinois State Fire Marshal, and/or Lincolnwood Gas and Food, Inc., related to the property, its fuel tanks, or its gas station;
4. All documents exchanged between the Village, the Office of the Illinois State Fire Marshal, and/or Lincolnwood Gas and Food, Inc., related to the property, its fuel tanks, or its gas station;
5. Any orders issued by the Office of the Illinois State Fire Marshal related to the property or its fuel tanks;
6. All communications between the Village, the Office of the Illinois State Fire Marshal, and/or Lincolnwood Gas and Food, Inc., related to the property and the application or denial of conditional use permits;
7. The application by Lincolnwood Gas and Food for a conditional use permit;
8. The denial by the Village of the conditional use permit; and
9. Minutes, notes, or documents related to the Village's denial of the conditional use permit.

In July 31, 2019, correspondence to you, the Village properly extended its time frame for response to your FOIA request by five (5) business days. The requested records required examination and evaluation by personnel having the necessary competence and discretion to determine if they are exempt from disclosure under Section 7 of FOIA or should be revealed only with appropriate deletions. 5 ILCS 140/3(e)(v).

Your FOIA request is hereby granted in part and denied in part as follows. The attached records are being provided to you at no charge.


Home addresses with ZIP codes, personal telephone numbers, account numbers, and other unique identifiers have been withheld as exempt from disclosure under section 7(1)(b) of FOIA, which exempts from inspection and copying "[p]rivate information, unless disclosure is required by another provision of [FOIA], a State or federal law or a court order." 5 ILCS 140/7(1)(b).

You have a right to have this matter reviewed by the Public Access Counselor (PAC) at the Office of the Illinois Attorney General. 5 ILCS 140/9.5(a). You may file your Request for Review with the PAC by writing to:

Ms. Sarah Pratt
Public Access Counselor
Office of the Attorney General
500 South 2nd Street
Springfield, Illinois 62706
Fax: 217-782-1396
E-mail: publicaccess@atg.state.il.us

You also have the right to seek judicial review of your denial by filing a lawsuit in the State circuit court. 5 ILCS 140/11.

Very truly yours,



Corey Williamsen
Freedom of Information Officer
Village of Bensenville



VILLAGE OF BENSENVILLE
FREEDOM OF INFORMATION ACT
REQUEST FORM

TO: COREY WILLIAMSEN

Freedom of Information Officer
Village of Bensenville
12 S. Center Street
Bensenville, IL 60106

FROM:

Name Quarles & Brady LLP c/o Hailey Varner

Address 300 N. LaSalle St., Ste. 4000
Chicago, IL 60654

Phone (312) 715-5182

E-Mail hailey.varner@quarles.com

6/22

TITLES OR DESCRIPTION OF RECORDS REQUESTED (Please Include Date of Birth and Case Number for Police Records):

See attached Rider.

☐ THIS REQUEST IS FOR A COMMERCIAL PURPOSE (You must state whether your request is for a commercial purpose. A request is for a "commercial purpose" if all or any part of the information will be used in any form for sale, resale, or solicitation or advertisement for sales or services. Failure to disclose whether a request is for a commercial purpose is a prosecutable violation of FOIA.)

Would like your request delivered via: ☒ E-Mail ☐ U.S. Mail ☐ Pick-Up*

*Pick-Up is available by appointment at Village Hall Monday thru Friday; between 8:00 a.m. - 5:00 p.m.

I understand that any payment need be received before any documents are copied and/or mailed.

July 24, 2019

Date

Hailey Varner
Signature

All FOIA responses are posted on the Village's website. Name and address of the requestor will be made public.

The first fifty (50) pages of the request are free. The fee charge is fifteen (15) cents after the first fifty (50) pages.

Unless otherwise notified, your request for public records will be compiled within five (5) working days.

Unless otherwise notified, any request for commercial purposes will be compiled within twenty-one (21) days working days.

COREY WILLIAMSEN, FREEDOM OF INFORMATION OFFICER

Telephone: (630) 350-3404 Facsimile: (630) 350-3438

E-mail Address: FOIArequest@bensenville.il.us

For Freedom of Information Officer Use Only

7/24/19
Date Request
Received

7/31/19
Date Response
Due

8/7/19
Date Extended
Response Due

\$0 -
Total Charges

8/7/19
Date Documents
Copied or Inspected

Received by Employee: _____

RIDER TO THE FOIA REQUEST

I. DEFINITIONS

A. "Property" shall mean 1301 West Irving Park Road, Bensenville, Illinois 60106, and any gas station, carwash, or related facility located thereon.

B. "Bensenville" shall mean the Village of Bensenville, the Village of Bensenville Community Development Commissions, the Village of Bensenville Board of Trustees, and any other division or office of the Village of Bensenville, individually and collectively, and their personal representatives, agents, assigns, attorneys, and all other persons acting or purporting to act on the behalf of Bensenville.

C. "Fire Marshal" shall mean the Office of the Illinois State Fire Marshal, and its personal representatives, agents, assigns, attorneys, and all other persons acting or purporting to act on the behalf of the Fire Marshal.

D. "Landlord" shall mean the individual, individuals, and/or entities, individually and collectively, which owned and/or managed the Property and their personal representatives, agents, assigns, attorneys, and all other persons acting or purporting to act on the behalf of Landlord.

E. "Lincolnwood" shall mean Lincolnwood Gas and Food, Inc., d/b/a Bensenville Express, and its personal representatives, agents, assigns, employees, attorneys, and all other persons acting or purporting to act on behalf of Lincolnwood, including without limitation, Mathew.

F. "Mathew" shall mean Jose Mathew and his personal representatives, agents, assigns, employees, attorneys, and all other persons acting or purporting to act on behalf of Mathew.

II. REQUESTS

1. All documents and communications related to the Property from November 15, 2012 to the present.

2. Without limiting the foregoing, all documents and communications related to the Property, including without limitation, any fuel tanks at the Property.

3. Without limiting the foregoing, all communications between Bensenville, Fire Marshal, and/or Lincolnwood related to the Property, the fuel tanks at the Property, and/or any other matter related to the gas station at the Property.

4. Without limiting the foregoing, all documents exchanged between Bensenville, Fire Marshal, and/or Lincolnwood related to the Property, the fuel tanks at the Property, and/or any other matter related to the gas station at the Property.

5. Without limiting the foregoing, a copy of any orders issued by the Fire Marshall related to the Property including, without limitation, any order(s) related to the fuel tanks at the Property.

6. Without limiting the foregoing, all communications between Bensenville, Fire Marshal, and/or Lincolnwood related to the Property, including without limitation, Lincolnwood's application for a Conditional Use Permit and Bensenville's denial of a Conditional Use Permit.

7. Without limiting the foregoing, all documents exchanged between Bensenville, Fire Marshal, and/or Lincolnwood related to the Property, including without limitation, Lincolnwood's application for a Conditional Use Permit and Bensenville's denial of a Conditional Use Permit.

8. Without limiting the foregoing, a copy of Lincolnwood's application for a Conditional Use Permit.

9. Without limiting the foregoing, a copy of Bensenville's denial of Lincolnwood's application for a Conditional Use Permit.

10. Without limiting the foregoing, a copy of all minutes, notes, or other documents related to Bensenville's denial of Lincolnwood's application for a Conditional Use Permit.



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VILLAGE BOARD

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Armando Perez

Village Clerk

Nancy Gunn

Village Manager

Evan K. Summers

July 31, 2019

Ms. Hailey Varner
Quarles & Brady LLP
300 North LaSalle Street, Suite 4000
Chicago, Illinois 60654

Re: Freedom of Information Act Request
Dated July 24, 2019

Dear Ms. Varner:


I am pleased to help you with your July 24, 2019 Freedom of Information Act ("FOIA"). Your request was received by the Village of Bensenville on June 19, 2019. You requested copies of the items indicated below:

"See attached rider."

The Village needs to consult with the Village Attorney to determine whether any of the records you have requested are exempt from disclosure under Section 7 of the FOIA or should be revealed only with appropriate deletions. Therefore, pursuant to Section 3(e)(v) of FOIA, 5 ILCS 140/3(e)(v), the Village is extending the time it has to respond to your request by an additional five (5) business days. The Village will respond to your request on or before August 7, 2019.

Please let me know if you have any questions.

Very truly yours,


Corey Williamsen
Freedom of Information Officer
Village of Bensenville

NON-RESIDENTIAL PERMIT APPLICATION

2025 RELEASE UNDER E.O. 14176

References

0009-3079(200505)23:5<538:DOI:10.1002/ajpa.20170>1.0.TX:2-#

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Spring's Singing

0.125

Correspondence and screw refunds can only be completed if the address of the applicant is kept correct, which is the applicant's responsibility.

I hereby authorize the above listed applicant to complete the provisions of the applicable code and ordinances for this permit.

Appendix 2: End Address

Property Owner's Name (Print)

Present: Oxnard's Synagogue

12

457

City, State & ZIP Code

Day: T.F.G. D. 1004

No Stormwater Permit Req

APPLICATION NUMBER 4842

91410001 K=99141001 (PLEASE - not to be applied)

OFFICIALS

453

MILESTONE DATES

Applied on: 1/19/15
Approved on: 2/11/15
Issued on: 02-13-15
Expires on: 08-13-15

~~2025/03/05~~

TOTAL PERMIT FEE \$527.00

All failed inspections will be charged against the escrow at the standard inspection rates. After final approvals and occupancy have been issued, the remaining escrow will be refunded to the payee via first class mail. In the event the cost of failed inspections exceeds the escrow amount, no further inspections will be completed until an additional escrow has been received.



Office of the Illinois State Fire Marshal
Division of Petroleum and Chemical Safety
1035 Stevenson Drive
Springfield, IL 62703
2177851020

Extended

FOR OFFICE USE ONLY

Facility # 2023377
Permit # 00629-2016REM
Request Rec'd 05/31/2016
Amended Date
Approval Date 6/1/2016 SB
Permit Expires 6/1/2017

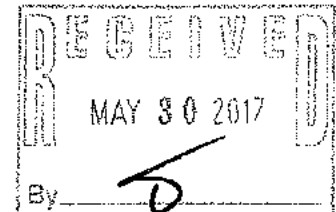
Permit for REMOVAL of Underground Storage Tank(s) and Piping for Petroleum and Hazardous Substances.

Permission to remove underground storage tank(s) or piping is hereby granted. Such removal shall not commence until the contractor the permit was issued to or an employee of that contractor (this does not include a subcontractor) shall establish a date certain to perform the UST activity by contacting the Office of the State Fire Marshal, Division of Petroleum and Chemical Safety, at which time the UST activity shall be scheduled. **THIS PERMIT IS VALID FOR SIX MONTHS FROM THE APPROVAL DATE.**

(1) OWNER OF TANKS - Corporation, partnership, or other business entity: K & L Auto Service 1301 W. Irving Park Bensenville, IL 60106 Contact: Jose Mathew (773) 551-1541	(2) FACILITY - name and address where tanks are located: Lincolnwood Gas and Food, Inc. 1301 W. Irving Park Bensenville, IL 60106 Contact: Len Bairaktaris (630) 860-9499
--	--

(3) REMOVAL OF TANKS:

- (a) Number and size of tanks being removed: (TK # 1, 2) - 10,000, (TK # 3) - 6,000
- (b) Description/location of piping being removed:
- (c) Product to be stored in each tank: (TK # 1, 2, 3) - Gasoline
- (d) Reason of tanks being removed:
- (e) If tank(s) is leaking, indicate IEMA incident number:
- (f) Date each tank was last used: (TK # 1, 2, 3) - 2/15/2013



- (4) The owner must notify this Office when completion of tank removal has occurred, on the Notification for Underground Storage Tank Form. This form can be obtained at www.sfm.illinois.gov or by calling (217)785-1020. After removal is completed, the owner/operator shall perform a site assessment by measuring for the presence of a release where contamination is most likely to be present at the UST site. This is in accordance with the Illinois Administrative Code 176.360 (a) regulations and 40 CFR Part 280.72 (a) Federal Register Requirement.

(5) SPECIAL CONTINGENCIES:

(6) <u>PERSON, FIRM OR COMPANY PERFORMING WORK:</u> BMPC, Inc. 1510 Spring Bay Road, Unit E East Peoria, IL 61611	Contact Person: Amanda McCormick Phone: (309) 208-5264 Contractor Registration # IL002393 Exp. 12/12/2016
---	---

Sincerely,

Shelly Bradley

Shelly Bradley

cc: Storage Tank Safety Specialist
Division File

Office of the Illinois State Fire Marshal
Division of Petroleum and Chemical Safety
1035 Stevenson Drive
Springfield IL 62703

80030170090

Facility #	2023377
Date	1/12/2017
Notification Form Received	Y N <input type="radio"/> <input checked="" type="radio"/>

NOTICE OF VIOLATION (UST)

Facility Status: Inactive

OWNER OF TANKS

Kyriakos Giannoudakos

Name

420 Sunnyside Ave

Street Address

Itasca

IL

60143

City

State

Zip

Contact Person

Phone

FACILITY

Lincolnwood Gas and Food, Inc.

Name

1301 W. Irving Park

Street Address

Bensenville

IL

60106

Du Page

City

State Zip

County

Len Bairaktaris

630-860-9499

Contact Person

Phone

Violations of 41 Ill. Adm Code 174, 175, 176 and 177 of the Office of the Illinois State Fire Marshal and 40 CFR Parts 280 of the Federal Register requirements are hereby called to your attention. The violations found and corrections to be made have been identified below or stated in the remarks section. Any repairs, modifications or alterations to the tank system must be performed in compliance with OSFM rules and by a contractor licensed by this office. You are allowed a 60-day window to come into compliance effective from the date of this notice. If compliance is not made by **3/13/2017**, your underground storage tanks system will be **RED TAGGED**. You are prohibited from having product placed into the UST system when a **RED TAG** exists. Contact the Storage Tank Safety Specialist below when said violations are corrected and if you have any questions.

RED TAGS WILL NOT BE REMOVED UNTIL ALL DEFICIENCIES HAVE BEEN CORRECTED.

TANK SYSTEM INFORMATION

Tank	Capacity	Product	Status
1	10,000	Gasoline	Condemned Tank
2	10,000	Gasoline	Condemned Tank
3	6,000	Gasoline	Condemned Tank

SECTION A.	TANK RELEASE DETECTION
SECTION B.	PIPING RELEASE DETECTION
SECTION C.	SPILL PREVENTION
SECTION D.	OVERFILL PREVENTION
SECTION E.	TANK CORROSION PROTECTION
SECTION F.	PIPING CORROSION PROTECTION
SECTION G.	DISPENSERS AND HOSES
SECTION H.	MISCELLANEOUS

Facility Violation Text:

Financial responsibility must be reported yearly (41 Ill. Adm. Code 176.220(c) & (d))

Remarks:

Remarks:

(Note: If any equipment fails or is identified as deficient during testing, it must be repaired or replaced to comply with this violation.)

☒ Signature unobtainable

☐ Signature refused

1/12/2017

X *B. Kowalski*

Signed by: Robert L. Kowalski

Signed by Robert L. Kowalski View
details

on Thursday, January 12, 2017 10:54 AM (Central
Standard Time)

Storage Tank Safety Specialist (Signature)

Exit interview given to Title

Phone: 217-299-6103

. tank removal

VILLAGE OF BENSENVILLE

Department of Community and Economic Development

CONDITIONS OF THE PERMIT

SITE LOCATION: 1301 WEST IRVING PARK ROAD
INTENDED USE: C-2
APPLICATION NO: 4842
APPLICATION TYPE: NON-RESIDENTIAL ACCESSORY
DESCRIPTION OF WORK: EXTERIOR IMPROVEMENTS

FILE COPY

-
1. All work whether approved or not shall be in compliance with the applicable codes and ordinances.
 2. Contact the Community and Economic Development Department 24 hours in advance at 630-350-3413 for any necessary inspections.
 3. No work except what has been approved or required shall be permitted through the execution of this permit. No changes to the approved plans will be permitted without authorization by the Department of Community and Economic Development in writing.
 4. THESE PLANS & CONDITIONS MUST BE AT THE JOB SITE AND AVAILABLE FOR EACH INSPECTION. If the approved copy is not available, the inspection will not be conducted and the report shall be marked "Not Approved." DO NOT REMOVE THESE CONDITIONS FROM THE PLANS.
 5. SPECIAL CONDITIONS TO APPLICATION NUMBER 4842

PLAN EXAMINER REVIEW

All conditions are mandatory, changes on the approved plans/documents will not be permitted without written authorization from the Community & Economic Development Department. Failure to comply with the preceding conditions will invalidate the approval of this permit.

All work must be inspected in accordance with the inspection list provided with this permit. Work concealed without the required inspection and approval must be exposed for inspection (at owner's/contractor's expense) as directed by the Village Inspector.

Low voltage wiring shall be protected in all vertical applications.
Horizontal runs need to be supported through braid rings.
Wiring shall not be connected in any way to any plumbing, gas, water, sprinkler lines, etc.

Exterior lighting shall meet the requirements of the Village Code for glare. See Below

1. Glare: No use shall produce direct or indirect illumination at the boundaries of the nearest residentially zoned lot greater than 0.5 footcandles.
2. Sources of lighting shall be directed, shaded, shielded or otherwise arranged so as not to produce glare in surrounding properties.
3. Illumination levels shall be measured with a photoelectric photometer having a spectral response similar to that of the human eye, following the standard spectral luminous efficiency curve adopted by the International Commission on Illumination.

Provide a copy of the OSFM inspection report.

All work must be performed in a neat and workmanlike manner by persons who are skilled in their trades in full performance with the Village Code. All work must be inspected in accordance with the inspection lists provided with this permit. Owner/Contractor is responsible to expose any work concealed without the required inspection and approval.

The completion of this project and the bond refund process is subject to the final inspection and approval by the Village Inspector. NOTE: All debris and landscaping must be returned to original conditions prior to final inspection.

Having read and understood the preceding conditions, I hereby agree to comply with them.

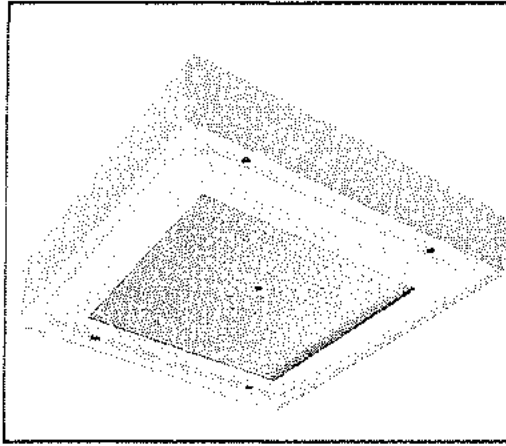
George Silva
SIGNATURE

GEORGE SILVA
NAME (PRINT)

2-13-15
DATE

LED SURFACE MOUNT - LEGACY™ (CRU SM)

Crossover
LED LIGHTING TECHNOLOGY



DOE LIGHTING FACTS

Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific catalog strings.

US & Int'l. patents pending.

SMARTTEC™ - LSI drivers feature integral sensor which reduces drive current, when ambient temperatures exceed rated temperature.

HOUSING - One-piece, die-formed, aluminum housing with powder coated finish. One conduit knockout and four mounting holes.

LEDS - Features an array of select, mid-power, high brightness, high efficiency LED chips; 5000K color temperature, 70 CRI (nominal).

DRIVE CURRENT - Choice of High Output (HO) or Very High Output (VHO).

OPTICS / DISTRIBUTION - Symmetrical, which directs light through a glass lens to provide a uniform distribution of light to vertical and horizontal surfaces.

OPTICAL UNIT - Features an ultra-slim 3/4" profile die cast housing, with a standard flat clear or diffused glass lens. Unit is water-resistant, sealed to an IP67 rating. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.

PRESSURE STABILIZING VENT - Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

DRIVER - State-of-the-art driver technology superior energy-efficiency and optimum light output. Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.

ADAPTOR PANEL - Die formed galvanized steel, with powder coat finish.

OPERATING TEMPERATURE - -40°C to 50°C (-40°F to +122°F)

ELECTRICAL - Universal voltage power supply, 120-277 VAC, 50/60 HZ input. LSI drivers feature two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Scenario 1, Location Category C.

FINISH - Standard color is white and is finished with LSI's DuraGrip polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

INSTALLATION - Pre-assembled optical unit and mounting panel attaches to fixture housing via 4 fasteners. Driver is pre-mounted to back of optical assembly.

SHIPPING WEIGHT - 35 pounds.

EXPECTED LIFE - Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

WARRANTY - Limited 5-year warranty.

LISTING - UL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at www.designlights.org.

PHOTOMETRICS - Applications layouts are available upon request. Contact LSI Petroleum Lighting or petroleum.apps@lsi-industries.com

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



Project Name _____ Fixture Type _____

Catalog # _____

01/20/15

© 2015

LSI INDUSTRIES INC.

LED SURFACE MOUNT - LEGACY™ (CRU SM)

Crossover
LED LIGHTING TECHNOLOGY

LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **CRU SM SC LED HO CW UE WHT**

Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
CRU SM (Surface Mount)	SC - Standard Symmetric	LED	HO - High Output VHO - Very High Output	CW - Cool White	UE - Universal Voltage (120-277V) 347-480 Volt ¹	WHT - White BRZ - Bronze BLK - Black	DFL - Diffused Lens

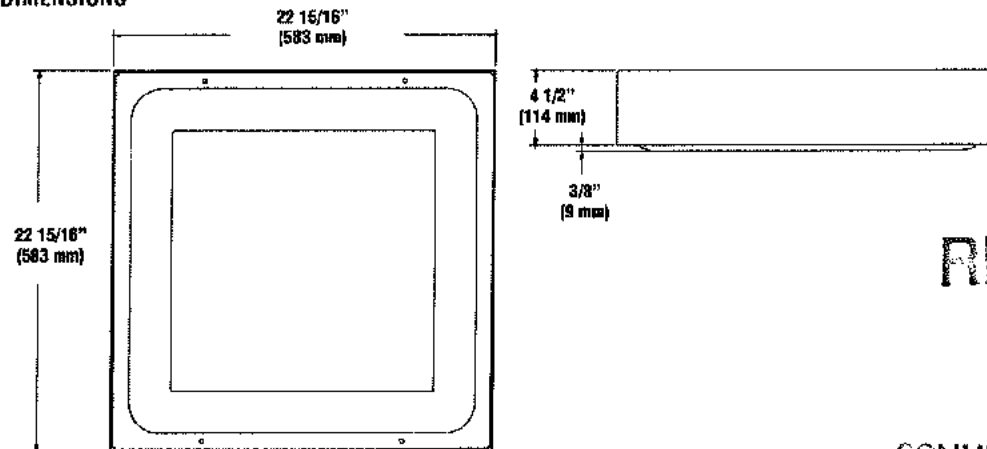
FOOTNOTES:

¹ - 480V only available in HO drive current.

ACCESSORY ORDERING INFORMATION

Description	Order Number
SSA Slope Surface Adaptor	52152 CLR
2x2 Shallow Housing Only	545376
10' Toggle Cable Hanger	TCH10

DIMENSIONS

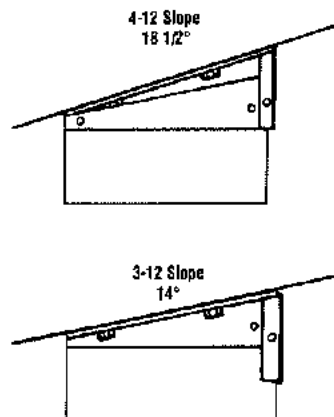


RECEIVED

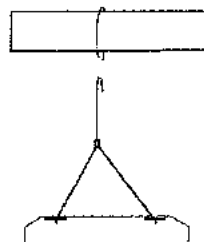
FEB - 9 2015

COMMUNITY DEVELOPMENT

SLOPE SURFACE ADAPTOR - SSA ACCESSORY



TOGGLE CABLE HANGER



On Round Poles,

LIGHT OUTPUT - CRU SM

		Lumens	Watts	LPW
Cool White	HO - High Output	19,630	150	131
	VHO - Very High Output	23,523	196	120

LED Chips are frequently updated therefore values may increase.



Project Name _____ Fixture Type _____
Catalog # _____

01/20/15
© 2015
LSI INDUSTRIES INC.



OFFICE OF THE ILLINOIS STATE FIRE MARSHAL
Division of Petroleum and Chemical Safety
1035 Stevenson Drive
Springfield, Illinois 62703-4259
(217)785-1020

FOR OFFICE USE ONLY

Facility # 2-023377
Permit # 00961-2014UPG
Request Rec'd 10/08/2014
Amended Date
Approval Date 10/29/2014 DS
Permit Expires 4/29/2015

Permit for UPGRADE or REPAIR of Underground Storage Tank(s) and Piping for Petroleum and Hazardous Substances.

Permission to upgrade or repair underground storage tank(s) or piping is hereby granted. Such upgrade or repair must be in complete accordance with acceptable materials as specified in the Federal Register, Part II Environmental Protection Agency, 40 CFR Parts 280 and 281, and also with all sections of 41 Illinois Administrative Code, Parts 174, 175 and 176. The contractor the permit was issued to or an employee of that contractor (this does not include a subcontractor) shall submit a required job schedule for underground piping upgrade, leak detection, spill and overfill prevention of underground storage tank(s) to the Office of the State Fire Marshal, Division of Petroleum and Chemical Safety.

(1) OWNER OF TANKS - Corporation, partnership, or other business entity:

K & L Auto Service
1301 W. Irving Park
Bensenville, IL 60106

Contact: Jose Mathew (773) 551-1541

(2) FACILITY - name and address where tanks are located:

Lincolnwood Gas and Food, Inc.
1301 W. Irving Park
Bensenville, Du Page Co., IL

Contact: Len Bairaktaris (630) 860-9499

(3) UPGRADE OR REPAIR OF TANKS:

(a) *Number and size of tanks being upgraded or repaired:* (TK # 1, 2) - 10,000 gallons, (TK # 3) - 6,000 gallons

(b) *Type of tanks:*

(c) *Type of piping:*

(d) *Product to be stored in each tank:* (TK # 1, 2, 3) - Gasoline

(e) *Type of leak detection being used:*

Tank: (TK # 1, 2, 3) - (Installing) Automatic Tank Gauging Veeder Root TLS 450

Piping:

(f) *Corrosion Protection being used:*

Tank:

Piping:

(g) *Spill containment devices, piping, and dispenser containment devices:*

(h) *Overfill prevention devices:*

(i) *Manway accessible at grade:*

(4) The owner must notify this Office when completion of tank upgrade/repair has occurred, on the Notification for Underground Storage Tank Form and the licensed contractor must submit the required job schedule for underground piping upgrade, leak detection, spill and overfill prevention to the OSFM prior to the work being performed. Both forms can be obtained at www.sfm.illinois.gov or by calling (217)785-1020.

(5) SPECIAL CONTINGENCIES:

(6) PERSON, FIRM OR COMPANY PERFORMING WORK:

U.S. Venture, Inc.
425 Better Way
Appleton, WI 54915

Contact Person: Sherri Gates
Phone: (920) 735-8249

Contractor Registration # IL-002403 Exp. 03/12/2016

Sincerely,

Daniel Starks

cc: Storage Tank Safety Specialist -
Fire Department -
Division File
(Rev. - 9/10)



Installing confidence™

A DIVISION OF U.S. VENTURE, INC.

KIMBERLY
558 Carter Ct.
Kimberly, WI 54136
1-800-490-4915, Fax 920-738-0741

WAUSAU
7120 Highland Drive
Wausau, WI 54401
1-800-490-4915

Job # 79732533
WEST ALLIS
11225 W. Mitchell Street
West Allis, WI 53214
1-800-490-4915

March 20, 2014

Proposal No.: RR1080R1

Mr. Rick Rumoro
US Oil Company
425 Better Way
Appleton, WI 54915

Cell: (630) 202-6271
Email: Rrumoro@usoil.com

RE: Express 1301 W Irving Park Road. Bensenville, IL

PROPOSAL FOR EQUIPMENT UPGRADE

U.S. Petroleum Equipment is pleased to provide you with the following proposal to install (5) New Gilbarco dispensers with Express image. We propose to remove the existing POS system and install a single console Passport system.

This proposal includes the following scope of work:

GILBARCO GASOLINE DISPENSING EQUIPMENT (Express image)

- (4) Encore ENC 700 "S" NN1 3+0 Blender, 3 grade, 2 side, 2 hose dispensers with speakers
- (4) 5.7" CRIND Color LCD display factory installed, 2-sided secure card readers, with Encrypted Pin Pads with heaters
- (8) 6" Crind rolls
- (4) Express Brandview Canopy
- Freight
- No Smoking/Stop Engine decals, octane stickers

New Encore dispensers have 2 year parts and labor warranty included.

GILBARCO DIESEL DISPENSING EQUIPMENT (Express image)

- (1) Reconditioned Advantage B21 1 grade, 2 side, 2 hose dispenser with 2-sided monochrome card reader
- (1) Express Brandview Canopy

DISPENSER TRADE IN

- Existing dispensers are of no value to us, we will leave them on site or bring them back and dispose of them at no charge per your direction.

Please Initial: Leave on site for Owner

Bring back for disposal J.M.

If no line is initialed, dispensers will be brought back and disposed of.

RECEIVED

JAN 19 2015 3/20/2014

COMMUNITY DEVELOPMENT

HOSES, NOZZLES, SWIVELS

- (10) 3/4" Automatic nozzles (8-gas 2-diesel)
- (10) 5/8" x 8-1/2' Hoses
- (10) 3/4" Breakaway non reconnectors
- (10) 3/4" Swivel connectors
- (10) 3/4" Whip hoses

SINGLE PASSPORT SYSTEM (Express-spec)

- (1) Combination Cashier/Manager workstation
- (1) Dispenser Hub
- (1) Router
- (1) Qwerty keyboard and mouse
- (1) Report printer
- (1) USB Converter - 8 port
- (1) 15" Touch Screen
- (1) Customer display
- (1) Thermal receipt printer
- (50) Rolls thermal receipt paper (1 case)
- (1) Cash drawer
- (1) Uninterruptible Power Supply
- (1) Pin pad and stand,
- (1) D-Box
- (1) Hand-held scanner
- (1) Enhanced loyalty module (Open Road Rewards)

Annual Premium Passport Service is included for the first year. Costs for the second year and beyond would be according to the attached sheet.

NOTE: *Passport warranty as proposed is 1 year parts and labor on Passport and peripherals, with the exception of the report printer, which is 90 days parts and labor.*

PASSPORT TRAINING

- Provide 16 hours Passport training in our Kimberly office

ELECTRICAL (Estimated will bill actual)

- (1) Electrical permit
- (1) Passport System Gilbarco Distribution box
- Disconnect (6) existing dispensers and rewire (5) new dispensers
- Provide and install Local area network cabling, patch panel and jacks from back room, to registers to office for the Passport
- Run certification test on cabling and panels to meet CAT5E requirements

Please Note: If the existing wiring/conduits cannot be used there will be additional charges

RECEIVED

INSTALLATION

- Remove (6) existing dispensers
- Misc. pipe and fittings
- Forklift to remove and replace dispensers
- Install (5) dispensers
- Blank off (1) existing Diesel dispenser
- Set up Passport and load the software in training room
- Remove Current POS system
- Install Passport on site and connect to the dispensers & network
- Calibrate dispensers-notify State and report to them
- Train owner on equipment use
- Submit warranty paperwork to Gilbarco

SUBTOTAL FOR THE ABOVE PROJECT

APPLICABLE SALES TAX

TOTAL FOR ABOVE PROJECT

- Attached terms and conditions apply.

PROPOSAL DOES NOT INCLUDE:

- Any service not specified above.

PLEASE NOTE:

This bid is based on doing the work during our normal business work hours of 7:00 a.m. to 5:00 p.m. This project will require your site to be down for one day.

- Attached terms and conditions apply.
- Passport training consists of two days, included in the base bid
Additional training will be billed at \$80.00/hour, plus expenses, including mileage, hotel, and meals.
- Passport does not support inventory controls
- A phone line is required to be available for Gilbarco to do remote fixes and troubleshooting. The phone line jack must be in close proximity to the Passport location.

NOTE:

- *If you have a back office provider for Price book, YOU are responsible to make sure your back office provider CAN convert your existing Ruby price book to Passport Platform. If Not See Option #3*

RECEIVED

JAN 14 2014

TOTAL FOR THE ABOVE PROJECT WITHOUT OPTIONS

Payment Terms:

\$ at signing.
\$ at start.
\$ due upon completion.
Subject to credit approval.

This proposal may be withdrawn by U.S. if not accepted in 15 days.

This Proposal is subject to the terms and conditions set forth herein, as well as the attached Standard Terms and Conditions (collectively, this Proposal and the Standard Terms and Conditions shall hereafter be referred to as the "Agreement").

If U.S. Petroleum Equipment is required to perform under different terms and conditions, a change order may be required.

Salesman Signature: _____

Ryan Resch, Business Consultant

Proposal Date: _____

CUSTOMER ACCEPTANCE OF PROPOSAL

The prices, specifications, terms and conditions as set forth above and attached are satisfactory and hereby accepted as the Agreement. U.S. Petroleum Equipment is authorized to do the work as specified. Payment will be made as outlined above and in the attached Standard Terms and Conditions.

The undersigned individual, who is either a principal of the Customer or a sole proprietor, recognizing that his or her individual credit history may be a factor in the evaluation of the credit history of the applicant, hereby consents to and authorizes the use of a consumer credit report on the undersigned by U.S. Petroleum equipment from time to time as may be needed, in the credit evaluation process.

Print in legal name

X Customer: JASIE MATHRU

X Customer Signature: [Signature]

X Print name and title: president

X Date: 03-31-14

RECEIVED

JAN 1 2 2014

OWNER GAS DEPOT
CONTRACTOR U.S. PETROLEUM

The following inspections are required to be passed:

ROUGH ELECTRICAL (EI) FIRE SAFETY (FI)

ELECTRICAL (EI) ELECTRICAL (EI)

1818 1818

Reflection on Our Heritage

VILLAGE OF BENSENVILLE

SIGN PERMIT APPLICATION

DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT
PHONE: 630.350.5433 FAX: 630.350.5434

12 S. STATE STREET
BENSENVILLE, IL 60006

PERMIT INFORMATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

1301 Dwyer Pk.		UNIT NUMBER	C-2
SITE ADDRESS		ZONING DISTRICT	
Express Gas / Convenience Store		P.I.N. (Permanent Index Number)	
BUSINESS / TENANT NAME			
TELEPHONE NUMBER	Email Address	ESTIMATED COST	

CONTRACTOR INFORMATION

SIGN INSTALLER		Email Address	Day Time Phone
Address		City, State, & ZIP Code	
LICENSED ELECTRICAL CONTRACTOR		Email Address	Day Time Phone
Address		City, State, & ZIP Code	

OWNER & APPLICANT INFORMATION

No error or omission in either the plans or application shall relieve the applicant in having the work completed in any other manner than that which is in compliance with the approved plans and the applicable codes and ordinances of the Village of Bensenville and the State of Illinois. All work shall be completed, inspected, and approved as required and no occupancy or use of the space shall be permitted until approved in writing by the Department of Community and Economic Development. The Applicant shall be responsible for all fees associated with the instant permit, including but not limited to cancellation fees, plan review fees, and reinspection fees. Understanding the preceding statements, I hereby agree to comply and declare that to the best of my knowledge and belief the information provided is true and accurate.

Applicant's Name (Print)	Applicant's Signature	Date
Address	City, State, & ZIP Code	Day Time Phone
Applicant's Email Address		
Correspondence and escrow refunds can only be completed if the address of the applicant is kept current, which is the applicant's responsibility.		
I hereby authorize the above listed applicant to complete the provisions of the applicable code and ordinances for this permit.		
Property Owner's Name (Print)	Property Owner's Signature	Date
Address	City, State, & ZIP Code	Day Time Phone

APPLICATION NUMBER 4928

SIGN I.D. NUMBER

SIGN INFORMATION (PLEASE check all that apply)

TYPE OF SIGN (CHECK ONE):		
<input type="checkbox"/> WALL MOUNTED	<input type="checkbox"/> FREESTANDING	<input type="checkbox"/> DIRECTORY I.D.
<input type="checkbox"/> MENU BOARD	<input type="checkbox"/> BILLBOARD	<input type="checkbox"/> TEMPORARY
<input type="checkbox"/> OTHER		
ILLUMINATED SIGNS:		
<input type="checkbox"/> NUMBER OF LAMPS	<input type="checkbox"/> WATTAGE	
<input type="checkbox"/> NUMBER OF TRANSFORMERS	<input type="checkbox"/> VOLTAGE	
<input type="checkbox"/> ELECTRICAL CIRCUITS	<input type="checkbox"/> AMPERAGE	
SITE INFORMATION:		
<input type="checkbox"/> LOT FRONTAGE (IN LINEAR FEET)	<input type="checkbox"/> TENANT FRONTAGE (IN LINEAR FEET)	
<input type="checkbox"/> HEIGHT FROM GRADE		
<input type="checkbox"/> SIGN LENGTH	<input type="checkbox"/> SIGN HEIGHT	
<input type="checkbox"/> TOTAL SQUARE FOOTAGE		

OFFICE USE ONLY

FEES:		MILESTONE DATES:	
ESCROW	\$250.00	Applied on:	3/26/15
APPLICATION	\$513.00	Approved on:	4/10/15
PLAN REVIEW	\$0.00	Issued on:	4-14-15
INSPECTIONS (7 x \$50)	\$350.00	Expires on:	10-14-15
OTHER WOP	\$513.00		
TOTAL PERMIT FEE	\$1626.00	Approved by:	

*All failed inspections will be charged against the escrow at the standard inspection rates. After final approvals and occupancy have been issued, the remaining escrow will be refunded to the payee via first class mail. In the event the cost of failed inspections exceeds the escrow amount, no further inspections will be completed until an additional escrow has been received.

VILLAGE OF BENSENVILLE

Department of Community and Economic Development

CONDITIONS OF THE PERMIT

SITE LOCATION: 1301 WEST IRVING PARK ROAD
INTENDED USE: C-2
APPLICATION NO: 4928
APPLICATION TYPE: SIGN
DESCRIPTION OF WORK: SIGNAGE

FILE COPY

-
1. All work whether approved or not shall be in compliance with the applicable codes and ordinances.
 2. Contact the Community and Economic Development Department 24 hours in advance at 630-350-3413 for any necessary inspections.
 3. No work except what has been approved or required shall be permitted through the execution of this permit. No changes to the approved plans will be permitted without authorization by the Department of Community and Economic Development in writing.
 4. THESE PLANS & CONDITIONS MUST BE AT THE JOB SITE AND AVAILABLE FOR EACH INSPECTION. If the approved copy is not available, the inspection will not be conducted and the report shall be marked "Not Approved." DO NOT REMOVE THESE CONDITIONS FROM THE PLANS.
 5. SPECIAL CONDITIONS TO APPLICATION NUMBER 4928

PLAN EXAMINER REVIEW

All conditions are mandatory, changes on the approved plans/documents will not be permitted without written authorization from the Community & Economic Development Department. Failure to comply with the preceding conditions will invalidate the approval of this permit.

All work must be inspected in accordance with the inspection list provided with this permit. Work concealed without the required inspection and approval must be exposed for inspection (at owner's/contractor's expense) as directed by the Village Inspector.

Permit is limited to the installation of a monument sign and two canopy signs. All proposed signage is illuminated.

Monument sign shall be placed at least five(5) feet from the western property line.

The existing sign frame along the western side of the property is proposed to be used for the new monument sign. Note: the new sign must meet the current zoning requirements. This means no part of the new signage shall be less than five feet off the western property line and that no part of the new signage shall be less than five feet off the front property line.

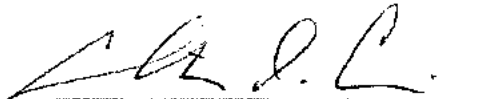
Only two signs are allowed on the canopy. Applicant has chosen that the signage be on the Irving Park frontage and the Spruce Ave. frontage.

Plans are approved as noted above.

All work must be performed in a neat and workmanlike manner by persons who are skilled in their trades in full performance with the Village Code. All work must be inspected in accordance with the inspection lists provided with this permit. Owner/Contractor is responsible to expose any work concealed without the required inspection and approval.

The completion of this project and the bond refund process is subject to the final inspection and approval by the Village Inspector. NOTE: All debris shall be removed and landscaping must be returned to original conditions prior to final inspection.

Having read and understood the preceding conditions, I hereby agree to comply with them.


SIGNATURE

Christopher D. Cronin
NAME (PRINT)

4/14/2015
DATE

April 10, 2015

1301 West Irving Park Road

#4928

Zoning Review

Monument Sign:

	Allowed	Proposed	Meets Standard?
Height	8 Feet	6' 8"	Yes
Size	Up to 50 Sq.Ft.	50 Sq. Ft.	Yes
Setback	5 Feet Min	12 Feet	Unclear if 5' from prop line

Notes: Must be 5' from western property line.

Station Canopy Signs

	Allowed	Proposed	Meets Standard?
Number	2	4	No
Size	32.89 Sq. Ft.	28.48 Sq. Ft.	Yes

Approved with Conditions:

Monument sign must be at least 5' from western property line.

Only 2 canopy signs allowed. (Not 4 as proposed)

VILLAGE OF BENSENVILLE

NON-RESIDENTIAL PERMIT APPLICATION

PERMIT INFORMATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

1301 IAVING PARK RD. BENSENVILLE, IL. C-2
 SITE ADDRESS
 NEW DWV & DOMESTIC WATER FOR CONVENIENCE STORE
 DESCRIPTION OF WORK 1 & EXTC. GAS STATION.
 FRAME INTER. PARTITION WALLS W/ METAL STUDS PER
 DESCRIPTION OF WORK 2 PLAN.
 UNIT NUMBER
 ZONING DISTRICT
 03-15-222-011
 03-15-222-013
 P.I.N. (Parcel Identification Number)
 25,000
 ESTIMATED COST

CONTRACTOR INFORMATION

ANTHONY ROWE, MUSENY, HVAC & CONSTR. CONSULT.
 GENERAL CONTRACTOR
 11416 S. PRAIRIE AVE. 3RD FL. CHICAGO, IL. 60628
 Address City, State, & ZIP Code
 Email Address Day Time Phone
 HUNDRI PLUMBING - JAMES MIN.
 LICENSED PLUMBING CONTRACTOR
 601 MILWAUKEE AVE, GLENVIEW, IL. 60025
 Address City, State, & ZIP Code
 Email Address Day Time Phone
 CHADWICKS BRYANT III RECEIVED
 LICENSED ELECTRICAL CONTRACTOR
 9714 S. CREGIER
 Address City, State, & ZIP Code
 Email Address Day Time Phone
 JOHN TRENT, JR.
 ROOFING CONTRACTOR
 DSA TRENT ROOFING, COV COMMUNITY DEVELOPMENT
 Address PO BOX 41328 Chicago, IL 60680
 City, State, & ZIP Code
 Email Address Day Time Phone

OWNER & APPLICANT INFORMATION

No error or omission in either the plans or application shall relieve the applicant in having the work completed in any other manner than that which is in compliance with the approved plans and the applicable codes and ordinances of the Village of Bensenville and the State of Illinois. All work shall be completed, inspected, and approved as required and no occupancy or use of the space shall be permitted until approved in writing by the Department of Community and Economic Development. Understanding the preceding statements, I hereby agree to comply and declare that to the best of my knowledge and belief the information provided is true and accurate.

ANTHONY ROWE
 Applicant's Name (Print)
 11416 S. PRAIRIE
 Address
 CHICAGO, IL 60628
 City, State, & ZIP Code
 Date 6-7-14
 Applicant's Signature
 Correspondence and escrow refunds can only be completed if the address of the applicant is kept current, which is the applicant's responsibility.
 I hereby authorize the above listed applicant to complete the provisions of the applicable code and ordinances for this permit.

x Leonidas Bairaktaris x Leonidas Bairaktaris
 Property Owner's Name (Print)
 6 N. 068 ACACIA LN x Medina H JL x 6-9-14
 Address City, State, & ZIP Code
 Property Owner's Signature
 Date

DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT
 PHONE: 630.351.3413 FAX: 630.360.344612 S. CENTER STREET
 BENSENVILLE, IL 60106

APPLICATION NUMBER 4313

BUILDING INFORMATION (PLEASE check all that apply)

☐ New Construction ☐ Addition ☒ Alteration ☐ Accessory

INTENDED USE:
☐ Assembly / Restaurant ☐ Institutional / Medical ☐ Factory / Industrial
☒ Mercantile / Retail ☐ Storage / Warehouse ☐ Business / Office
☐ Other _____

☒ Single Tenant Building ☐ Multiple Tenant Building (# of Tenants _____)

Existing Fire Alarm? ☐ Yes ☐ No
 Existing Sprinkler System? ☐ Yes ☐ No
 Full Building Coverage? ☐ Yes ☐ No (% of coverage _____)

Name of Business on Site GAS DEPOT
 Description of Operations CONVENIENCE STORE & GAS
 Existing Sq. Ft. 1421 New Sq. Ft. _____ Total Sq. Ft. _____

OFFICE USE ONLY

FEE	AMOUNT	DATE
ES. PLAN	\$300.00	6/9/14
APPLICATION	\$400.00	8/1/14
PLAN REVIEW	\$946.00	08-25-14
INSPECTIONS (18 x \$50)	\$900.00	02-25-15
WATER CONNECTION	\$350.00	
WATER METER	\$1050.00	
SEWER CONNECTION	\$0.00	
OFF METER	\$0.00	
OTHER	\$127.00	
TOTAL FEE	\$4273.00	

(All listed fees are non-refundable. The fee for the design of the project is separate. After the approved and completed plans have been submitted, the fee for the design of the project will be refunded. It is the responsibility of the applicant to ensure that the design of the project is completed and that the fee for the design of the project is refunded. If the design of the project is not completed, the fee for the design of the project will not be refunded.)

VILLAGE OF BENSENVILLE

Department of Community and Economic Development

CONDITIONS OF THE PERMIT

SITE LOCATION: 1301 WEST IRVING PARK ROAD
INTENDED USE: C-2
APPLICATION NO: 4313
APPLICATION TYPE: NON-RESIDENTIAL ALTERATION OCC
DESCRIPTION OF WORK: BUILDING ALTERATION

FILE COPY

-
1. All work whether approved or not shall be in compliance with the applicable codes and ordinances.
 2. Contact the Community and Economic Development Department 24 hours in advance at 630-350-3413 for any necessary inspections.
 3. No work except what has been approved or required shall be permitted through the execution of this permit. No changes to the approved plans will be permitted without authorization by the Department of Community and Economic Development in writing.
 4. THESE PLANS & CONDITIONS MUST BE AT THE JOB SITE AND AVAILABLE FOR EACH INSPECTION. If the approved copy is not available, the inspection will not be conducted and the report shall be marked "Not Approved." DO NOT REMOVE THESE CONDITIONS FROM THE PLANS.
 5. SPECIAL CONDITIONS TO APPLICATION NUMBER 4313

PLAN EXAMINER REVIEW

All conditions are mandatory, changes on the approved plans/documents will not be permitted without written authorization from the Community & Economic Development Department. Failure to comply with the preceding conditions will invalidate the approval of this permit.

All work must be inspected in accordance with the inspection list provided with this permit. Work concealed without the required inspection and approval must be exposed for inspection (at owner's/contractor's expense) as directed by the Village Inspector.

Local Amendment-- Fire alarm system needs to be install per NFPA 72; 2002 Edition (SEPARATE PERMIT NEEDED).

Install bathroom signage per the Illinois Accessibility Code.

No details as to type of merchandice that is to be sold. Before stocking, check with the Department of Community and Economic Development on any Village Ordinances that may need to be followed.

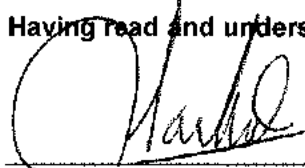
Added fees to this permit are as follows --

1-1/2 inch tap fee ----- 350.00 (1050.00 - 750.00)
New 1-1/2 water meter -----1050.00
New meter radio -----100.00
Meter installation accessories ---27.00
Total additional fees - 1527.00

All work must be performed in a neat and workmanlike manner by persons who are skilled in their trades in full performance with the Village Code. All work must be inspected in accordance with the inspection lists provided with this permit. Owner/Contractor is responsible to expose any work concealed without the required inspection and approval.

The completion of this project and the bond refund process is subject to the final inspection and approval by the Village Inspector. NOTE: All debris shall be removed and landscaping must be returned to original conditions prior to final inspection.

Having read and understood the preceding conditions, I hereby agree to comply with them.



SIGNATURE

Jose Mathew

NAME (PRINT)

08-25-14

DATE

T.P.I.
BUILDING CODE CONSULTANTS, INC.

JoAnne Tisinai, President
7N262 W. Whispering Trail/St. Charles, IL 60175
Phone [630] 443-1567
Fax [630] 443-2495

July 22, 2014

Mr. Mark Rysavy
Village of Bensenville
12 South Center
Bensenville, IL 60106

Re: Interior Remodel/Gas Station Conversion
1301 W. Irving Park Road
Bensenville, IL
Permit #: 4313

Dear Mark:

The following is the fee for the above project plan review.

1,409 sq. ft. Commercial Plan Review: 7/21/14	\$860.00**
---	------------

**includes re-reviews

This will be invoiced at the end of the month. Please call if you have any questions.

Sincerely,

JoAnne Tisinai

**City of Chicago
Department of Buildings
General Contractor's Licenses**

BY THE AUTHORITY OF THE CITY OF CHICAGO, THE FOLLOWING LICENSE IS HEREBY GRANTED TO :

ANTHONY ROWE MASONRY, HVAC &
CONSTRUCTION CONSULTING
11416 S. PRAIRIE AVE. 3RD FLOOR
CHICAGO IL 60628

LICENSE CLASS: (D) \$2,000,000 PROJECT CEILING



RECEIVED

JUN - 9 2014

COMMUNITY DEVELOPMENT

LICENSE NUMBER: TGC036840

CERTIFICATE NUMBER: GC036840-2

FEE: \$ 500

DATE ISSUED: 10/29/2013

DATE EXPIRES: 10/24/2014

THIS LICENSE IS NON-TRANSFERABLE

THIS LICENSE IS ISSUED AND ACCEPTED SUBJECT TO THE REPRESENTATIONS MADE ON THE APPLICATION FOR SAID LICENSE. THIS LICENSE MAY BE SUSPENDED OR REVOKED FOR CAUSE AS PROVIDED BY LAW. THE ABOVE LICENSEE SHALL OBSERVE AND COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS OF THE UNITED STATES, STATE OF ILLINOIS, COUNTY OF COOK AND CITY OF CHICAGO AND ALL AGENCIES THEREOF.

Rahm Emanuel

Rahm Emanuel
Mayor

Michael Merchant

Michael Merchant
Commissioner



P (847) 217-6838 F (847) 834-0055

DATE : Jun 2, 2014

QUANTITY	DESCRIPTION	UNIT PRICE	AMOUNT
2	● PLUMBING AND SEWER WORK - INSTALL TOILET	RECEIVED JUN - 9 2007 COMMUNITY DEVELOPMENT	
2	- LAV SINK		
4	- FLOOR DRAIN		
	● WATER PIPING REPAIR WORK (WITHIN 5 FEET)		
	● ITEMS NOT INCLUDED - PERMIT FEE & ALL PLUMBING FIXTURE - DIGGING & CONCRETE WORK		
	● TOTAL AMOUNT : \$13,000.00 ● PAYMENT : JOB SCHEDULE		
DIRECT ALL INQUIRIES TO: (847) 217-6838 email: newhd700@gmail.com			\$13,000.00 TOTAL AMOUNT


HYUNDAI PLUMBING & FIRE PROTECTION INC.

G.C. *[Signature]*
David Borcher
OWNER / GENERAL MANAGER

Western Surety Company

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS:

That WESTERN SURETY COMPANY, a corporation organized and existing under the laws of the State of South Dakota, and authorized and licensed to do business in the States of Alabama, Alaska, Arizona, Arkansas, California, Colorado, Connecticut, Delaware, District of Columbia, Florida, Georgia, Hawaii, Idaho, Illinois, Indiana, Iowa, Kansas, Kentucky, Louisiana, Maine, Maryland, Massachusetts, Michigan, Minnesota, Mississippi, Missouri, Montana, Nebraska, Nevada, New Hampshire, New Jersey, New Mexico, New York, North Carolina, North Dakota, Ohio, Oklahoma, Oregon, Pennsylvania, Rhode Island, South Carolina, South Dakota, Tennessee, Texas, Utah, Vermont, Virginia, Washington, West Virginia, Wisconsin, Wyoming, and the United States of America, does hereby make, constitute and appoint

Paul T. Bruflat of Sioux Falls,
State of South Dakota, its regularly elected Vice President,
as Attorney-in-Fact, with full power and authority hereby conferred upon him to sign, execute, acknowledge and deliver for and on its behalf as Surety and as its act and deed, the following bond:

One Plumbing Contractor Village of Bensenville

bond with bond number 62047444

for Hyungdai Plumbing Co.

as Principal in the penalty amount not to exceed: \$ 10,000.00

Western Surety Company further certifies that the following is a true and exact copy of Section 7 of the by-laws of Western Surety Company duly adopted and now in force, to-wit:

Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys-in-Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.

In Witness Whereof, the said WESTERN SURETY COMPANY has caused these presents to be executed by its
Vice President with the corporate seal affixed this 28th day of May,
2014.

ATTEST

L. Nelson

L. Nelson, Assistant Secretary

WESTERN SURETY COMPANY

By

Paul T. Bruflat

Paul T. Bruflat, Vice President

STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss

On this 28th day of May, 2014, before me, a Notary Public, personally appeared
Paul T. Bruflat and L. Nelson

who, being by me duly sworn, acknowledged that they signed the above Power of Attorney as Vice President
and Assistant Secretary, respectively, of the said WESTERN SURETY COMPANY, and acknowledged said instrument to be the
voluntary act and deed of said Corporation.



S. Petrik

Notary Public



STATE OF SOUTH DAKOTA }
COUNTY OF MINNEHAHA } ss

ACKNOWLEDGMENT OF SURETY
(Corporate Officer)

On this 28th day of May, 2014, before me, the undersigned officer, personally appeared Paul T. Bruflat, who acknowledged himself to be the aforesaid officer of WESTERN SURETY COMPANY, a corporation, and that he as such officer, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as such officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



S. Petrik
Notary Public — South Dakota

My Commission Expires August 11, 2016

ACKNOWLEDGMENT OF PRINCIPAL
(Individual or Partners)

STATE OF _____ }
COUNTY OF _____ } ss

On this _____ day of _____, _____, before me personally appeared

known to me to be the individual _____ described in and who executed the foregoing instrument and acknowledged to me that _____ he _____ executed the same.

My commission expires _____

Notary Public

ACKNOWLEDGMENT OF PRINCIPAL
(Corporate Officer)

STATE OF _____ }
COUNTY OF _____ } ss

On this _____ day of _____, _____, before me personally appeared

who acknowledged himself/herself to be the _____ of _____, a corporation, and that he/she as such officer being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as such officer.

My commission expires _____

Notary Public

 Western Surety Company

License or Permit No. _____

LICENSE AND PERMIT

BOND

As

of _____

State of _____

Name of Applicant _____

Address _____

Filed _____

Approved this _____

day of _____

RECEIVED

COMMUNITY DEVELOPMENT

RECEIVED

COMMUNITY DEVELOPMENT



Illinois Department of PUBLIC HEALTH EH078973B

LICENSE, PERMIT, CERTIFICATION, REGISTRATION

The person, firm or corporation whose name appears on this certificate has complied with the provisions of the Illinois statutes and/or rules and regulations and is hereby authorized to engage in the activity as indicated below.

LAMAR HASBROUCK, M.D., M.P.H.
DIRECTOR

Issued under the authority of
the Illinois Department of
Public Health

EXPIRATION DATE	CATEGORY	I.D. NUMBER
09/30/2014	6A	055-017990

HYUNDAI PLUMBING CONTRACTORS
PLUMBING CONTRACTOR
REGISTRATION

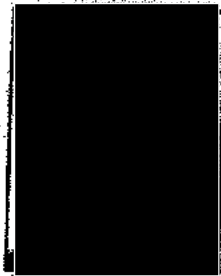
HYUNDAI PLUMBING CONTRACTORS
601 MILWAUKEE AVE
GLENVIEW IL 60025-3870

JAMES MIN

The face of this license has a colored background. Printed by Authority of the State of Illinois - 9/05


RECEIVED

COMMUNITY DEVELOPMENT



City of Chicago
Department of Buildings
Journeyman Plumber's License
Issued : 5/1/2013
JAMES MIN
License # : J16353
Expires : 5/18/2014

This license is valid and in force throughout the state of Illinois and the City of Chicago in accordance with an act of the 68th General Assembly.
The face of this card contains a Department of Buildings hologram. If the Hologram is not present, the card has been altered. If you suspect fraudulent use of this card call 312-743-6000.



City of Chicago
Department of Buildings
Plumber Contractor's License
Issued : 5/1/2013
JAMES MIN
License # : BC16353
Expires : 5/18/2014

This license is valid and in force throughout the state of Illinois and the City of Chicago in accordance with an act of the 68th General Assembly.
The face of this card contains a Department of Buildings hologram. If the Hologram is not present, the card has been altered. If you suspect fraudulent use of this card call 312-743-6000.

COM MECH 30915
Elec 30916

T.P.I.

Building Code Consultants, Inc.

630.443.1567 • Fax 630.443.2495

COMMERCIAL ☒

RESIDENTIAL ☐

OF INSPECTIONS 2

INSPECTION REPORT

SITE ADDRESS: 1301 W IRVING INSPECTION DATE: 2-5-15

CITY or VILLAGE: Bensenville INSPECTION TIME: AM/PM

INSPECTOR ASSIGNED: BC PERMIT NO.: 9313

<input type="checkbox"/> FINAL	<input type="checkbox"/> Basement Floor	<input type="checkbox"/> Fence	<input type="checkbox"/> HVAC	<input type="checkbox"/> Sign
<input type="checkbox"/> PARTIAL	<input type="checkbox"/> Burglar Alarm	<input type="checkbox"/> Fire Alarm	<input type="checkbox"/> Insulation	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> PREPOUR	<input type="checkbox"/> Business License	<input type="checkbox"/> Footing	<input type="checkbox"/> Landscaping	<input type="checkbox"/> Structural
<input type="checkbox"/> REINSPECTION	<input checked="" type="checkbox"/> Ceiling	<input type="checkbox"/> Foundation	<input type="checkbox"/> Plumbing	<input type="checkbox"/> Telephone
<input checked="" type="checkbox"/> ROUGH	<input type="checkbox"/> DrainTile/Dampproof	<input checked="" type="checkbox"/> Framing	<input type="checkbox"/> Post Holes	<input type="checkbox"/> Water
<input type="checkbox"/> SERVICE	<input type="checkbox"/> Driveway	<input type="checkbox"/> Garage Floor	<input type="checkbox"/> Roofing	<input type="checkbox"/> Other
<input type="checkbox"/> UNDERGROUND	<input type="checkbox"/> Electric	<input type="checkbox"/> Grading	<input type="checkbox"/> Sewer	
SPECIAL				

REQUESTED BY: _____ DATE: _____ PHONE NO.: _____

OFFICE/INSPECTOR COMMENTS:

① 2 WASHROOMS - Office OK For
CEILING TILES

② OK To SECURE CASHIER SUB FLOOR

APPROVED: - Installation is in accordance with approved plans - Building Division only

NOT APPROVED:

THIS IS NOT A CERTIFICATE OF OCCUPANCY

Received By: [Signature] Inspector: Bablanter

COM 33309

RE - 33589

PERMIT # 4313
COMMERCIAL X
RESIDENTIAL _____

T.P.I.
Plumbing Inspection Report
630.443.1567 • Fax 630.443.2495

City or Village Bensenville Date 1-8-15

Project _____

Address 1301 W. Irving Pk. Rd.

Underground _____ Rough X Final _____

Water Service _____ Sewer _____ Other _____

Time Requested AM Time Inspector Arrived _____

Inspector

Comments map base faucet requires isolation
valves - will check on final

Map base not allowed to protrude into door
opening. Change map base size or submit
revised plans to eliminate door

Approved _____

Not Approved X

Inspector _____

Signature John M. [Signature]

Contact Person _____

Phone 847-417-1171

Signature _____

COM PLUMB. 29320

RE 33309.

PERMIT # 4313

COMMERCIAL

RESIDENTIAL

T.P.I.

Plumbing Inspection Report

630.443.1567 • Fax 630.443.2495

City or Village

Bensenville

Date

12-17-14

Project

Address

1301 W. Irving PK Rd.

Underground

Rough

X

Final

Water Service

Sewer

Other

Time Requested

AM

Time Inspector Arrived

Inspector

Comments

map base requires isolation valves

~~There is no extra floor space for the map base~~

Map base is roughed in in front of door way.

Mens room toilet is roughed in 20" off rough wall

Properly install isolation Valving in bathrooms

Sillicone is not installed

Brace vents - horiz - in ceiling every 4'

Stack test required on waste & vent

Counter area + utility area has a extra

4" pipe stubbed through the floor. Verify what they are for next inspection

Approved

Not Approved

Inspector

Signature

Contact Person

Paul

Phone

847-417-1171

Signature

Paul

COM BI 29321
ELEC 31441

T.P.I.

Building Code Consultants, Inc.
630.443.1567 • Fax 630.443.2495

COMMERCIAL ☒
RESIDENTIAL ☐
OF INSPECTIONS _____

BI RE-33308

INSPECTION REPORT

SITE ADDRESS: 1301 W IRVING

INSPECTION DATE: 12-17-14

CITY or VILLAGE: Bensenville

INSPECTION TIME: AM PM

INSPECTOR ASSIGNED: BC

PERMIT NO.: 4313

<input type="checkbox"/> FINAL	<input type="checkbox"/> Basement Floor	<input type="checkbox"/> Fence	<input type="checkbox"/> HVAC	<input type="checkbox"/> Sign
<input type="checkbox"/> PARTIAL	<input type="checkbox"/> Burglar Alarm	<input type="checkbox"/> Fire Alarm	<input type="checkbox"/> Insulation	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> PREPOUR	<input type="checkbox"/> Business License	<input type="checkbox"/> Footing	<input type="checkbox"/> Landscaping	<input type="checkbox"/> Structural
<input type="checkbox"/> REINSPECTION	<input type="checkbox"/> Ceiling	<input type="checkbox"/> Foundation	<input type="checkbox"/> Plumbing	<input type="checkbox"/> Telephone
<input checked="" type="checkbox"/> ROUGH	<input type="checkbox"/> Drain/Tile/Dampproof	<input checked="" type="checkbox"/> Framing	<input type="checkbox"/> Post Holes	<input type="checkbox"/> Water
<input type="checkbox"/> SERVICE	<input type="checkbox"/> Driveway	<input type="checkbox"/> Garage Floor	<input type="checkbox"/> Roofing	<input type="checkbox"/> Other
<input type="checkbox"/> UNDERGROUND	<input checked="" type="checkbox"/> Electric	<input type="checkbox"/> Grading	<input type="checkbox"/> Sewer	
SPECIAL				

REQUESTED BY: _____

DATE: _____

PHONE NO.: _____

OFFICE/INSPECTOR COMMENTS:

- ① Approved plans indicate rear exit + counter at east wall. Actual - Door moved to east wall, counter eliminated. Submit revision to Village for approval.
- ② Inspection for 2 Washrooms - office storage room + perimeter walls only. All Counters to be fed from above ceiling when installed. Framing + Elec Walls approved.
- ③ Add framing backing for ADA grab bars.

APPROVED: - Installation is in accordance with approved plans - Building Division only

NOT APPROVED

Pending Plan revision as noted above

THIS IS NOT A CERTIFICATE OF OCCUPANCY

Received By: _____

Inspector: BD Carole

Comm Bldg 32380

COMMERCIAL RE-32506

T.P.I.**Building Code Consultants, Inc.**

630.443.1567 • Fax 630.443.2495

RESIDENTIAL _____

OF INSPECTIONS _____

INSPECTION REPORTSITE ADDRESS: 1301 Thomas ParkINSPECTION DATE: 10/3/14CITY or VILLAGE: BensenvilleINSPECTION TIME: 2:55 AM/PMINSPECTOR ASSIGNED: C. BrownPERMIT NO.: 433

<input type="checkbox"/> FINAL	<input type="checkbox"/> Basement Floor	<input type="checkbox"/> Fence	<input type="checkbox"/> HVAC	<input type="checkbox"/> Sign
<input checked="" type="checkbox"/> PARTIAL	<input type="checkbox"/> Burglar Alarm	<input type="checkbox"/> Fire Alarm	<input type="checkbox"/> Insulation	<input checked="" type="checkbox"/> Slab on Grade
<input checked="" type="checkbox"/> PREPOUR	<input type="checkbox"/> Business License	<input type="checkbox"/> Footing	<input type="checkbox"/> Landscaping	<input type="checkbox"/> Structural
<input checked="" type="checkbox"/> REINSPECTION	<input type="checkbox"/> Ceiling	<input type="checkbox"/> Foundation	<input type="checkbox"/> Plumbing	<input type="checkbox"/> Telephone
<input type="checkbox"/> ROUGH	<input type="checkbox"/> Drain/Tile/Dampproof	<input type="checkbox"/> Framing	<input type="checkbox"/> Post Holes	<input type="checkbox"/> Water
<input type="checkbox"/> SERVICE	<input type="checkbox"/> Driveway	<input type="checkbox"/> Garage Floor	<input type="checkbox"/> Roofing	<input type="checkbox"/> Other
<input type="checkbox"/> UNDERGROUND	<input type="checkbox"/> Electric	<input type="checkbox"/> Grading	<input type="checkbox"/> Sewer	
SPECIAL				

REQUESTED BY: _____

DATE: _____

PHONE NO.: _____

OFFICE/INSPECTOR COMMENTS: ① R ADD # 4 @ 24" & RBLINTO EXISTING SLABS
ACCORD BY OLD ELEC W/ 11/9 TUBES TO BE
TAKEN OUT & POURED AT A LATER DATE

APPROVED: - Installation is in accordance with approved plans - Building Division only

NOT APPROVED: _____

THIS IS NOT A CERTIFICATE OF OCCUPANCYReceived By: [Signature]Inspector: [Signature]

PERMIT # 4313

COMMERCIAL

RESIDENTIAL

T.P.I.

Plumbing Inspection Report

630.443.1567 • Fax 630.443.2495

City or Village

Bensenville

Date _____

10.30.14

Project

Address

301 W. Irving Park Rd.

Underground

Rough

Final

Water Service

Sewer

Other

Time Requested

Time Inspector Arrived

Inspector

Comments

Approved

Not Approved

Inspector

Signature

Contact Person

Phone

Signature

32445 ~~RE-100~~ ID
30908

PERMIT # 4313
COMMERCIAL X
RESIDENTIAL _____

T.P.I.
Plumbing Inspection Report
630.443.1567 • Fax 630.443.2495

City or Village Bensenville Date 10.29.14

Project _____

Address 1301 W. Irving Park Rd.

Underground _____ Rough _____ Final _____

Water Service X Sewer _____ Other _____

Time Requested AM Time Inspector Arrived _____

Inspector
Comments - PRESSURE TEST REQUIRED MIN 75 PSI

- OR EXPOSE CONNECTION

- PLANS INDICATE NEW 1/2" WATER SERVICE
BEING INSTALLED

- SUBMITT REVISED PLANS TO VILLAGE

Approved _____

Not Approved X

Inspector _____

Signature [Signature]

Contact Person _____

Phone 224.522.9179

Signature [Signature]

Comm Bldg 30911

Re- 32380

T.P.I.**Building Code Consultants, Inc.**

630.443.1567 • Fax 630.443.2495

COMMERCIAL

RESIDENTIAL

OF INSPECTIONS

INSPECTION REPORT

SITE ADDRESS: 1301 W. Irving Park INSPECTION DATE: 10/28/14
 CITY or VILLAGE: Bensenville INSPECTION TIME: 8:30 AM/PM
 INSPECTOR ASSIGNED: C. Portner PERMIT NO.: 4313

<input type="checkbox"/> FINAL	<input type="checkbox"/> Basement Floor	<input type="checkbox"/> Fence	<input type="checkbox"/> HVAC	<input type="checkbox"/> Sign
<input type="checkbox"/> PARTIAL	<input type="checkbox"/> Burglar Alarm	<input type="checkbox"/> Fire Alarm	<input type="checkbox"/> Insulation	<input checked="" type="checkbox"/> Slab on Grade
<input checked="" type="checkbox"/> PREPOUR	<input type="checkbox"/> Business License	<input type="checkbox"/> Footing	<input type="checkbox"/> Landscaping	<input type="checkbox"/> Structural
<input type="checkbox"/> REINSPECTION	<input type="checkbox"/> Ceiling	<input type="checkbox"/> Foundation	<input type="checkbox"/> Plumbing	<input type="checkbox"/> Telephone
<input type="checkbox"/> ROUGH	<input type="checkbox"/> Drain/Tile/Dampproof	<input type="checkbox"/> Framing	<input type="checkbox"/> Post Holes	<input type="checkbox"/> Water
<input type="checkbox"/> SERVICE	<input type="checkbox"/> Driveway	<input type="checkbox"/> Garage Floor	<input type="checkbox"/> Roofing	<input type="checkbox"/> Other
<input type="checkbox"/> UNDERGROUND	<input type="checkbox"/> Electric	<input type="checkbox"/> Grading	<input type="checkbox"/> Sewer	
SPECIAL				

REQUESTED BY: _____ DATE: _____ PHONE NO.: _____

OFFICE/INSPECTOR COMMENTS: Plumbing inspection for underpinning

& was not approved 9/1/14 - needs to be

re-inspected & complete crawl base br from

down

APPROVED: - Installation is in accordance with approved plans - Building Division only

NOT APPROVED:

THIS IS NOT A CERTIFICATE OF OCCUPANCY

Received By: _____

Inspector: C. Portner

Signature X / /

PRINT — PRESS HARD

METER RECORD				METER NUMBER				ACCOUNT NUMBER			
OWNER <i>LEONIDAS BORNIANTARIS</i>											
ADDRESS <i>1301 W. IRVING PARK</i>											
DATE <i>8/17/14</i>		PERMIT NO. <i>4313</i>		PAID <i>8/25/14</i>							
PIT		CURB BOX		I.D. NUMBER							
MAKE <i>OMNI</i>		NO.		SIZE <i>1/2</i>							
TOUCH PAD		METER MIKE		METER EXCHANGE DATE							
NEW METER READING											
EXCHANGED METER READING											
REASON FOR EXCHANGE											
OLD METER MAKE				OLD NUMBER							
INDUST.		RESIDENCE		COM'L		MULTI		SEALED		NUMBER UNITS	
				<i>X</i>							
REMARKS <i>Service Station / mini Mt.</i>											
<i>AK # 23875001</i>											
METER ISSUED BY				SIGNATURE OF AGENT <i>X</i>							

Exchange

VILLAGE OF BENSENVILLE
COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT
12 SOUTH CENTER STREET, BENSENVILLE, ILLINOIS 60106

APPLICATION NUMBER: 4313

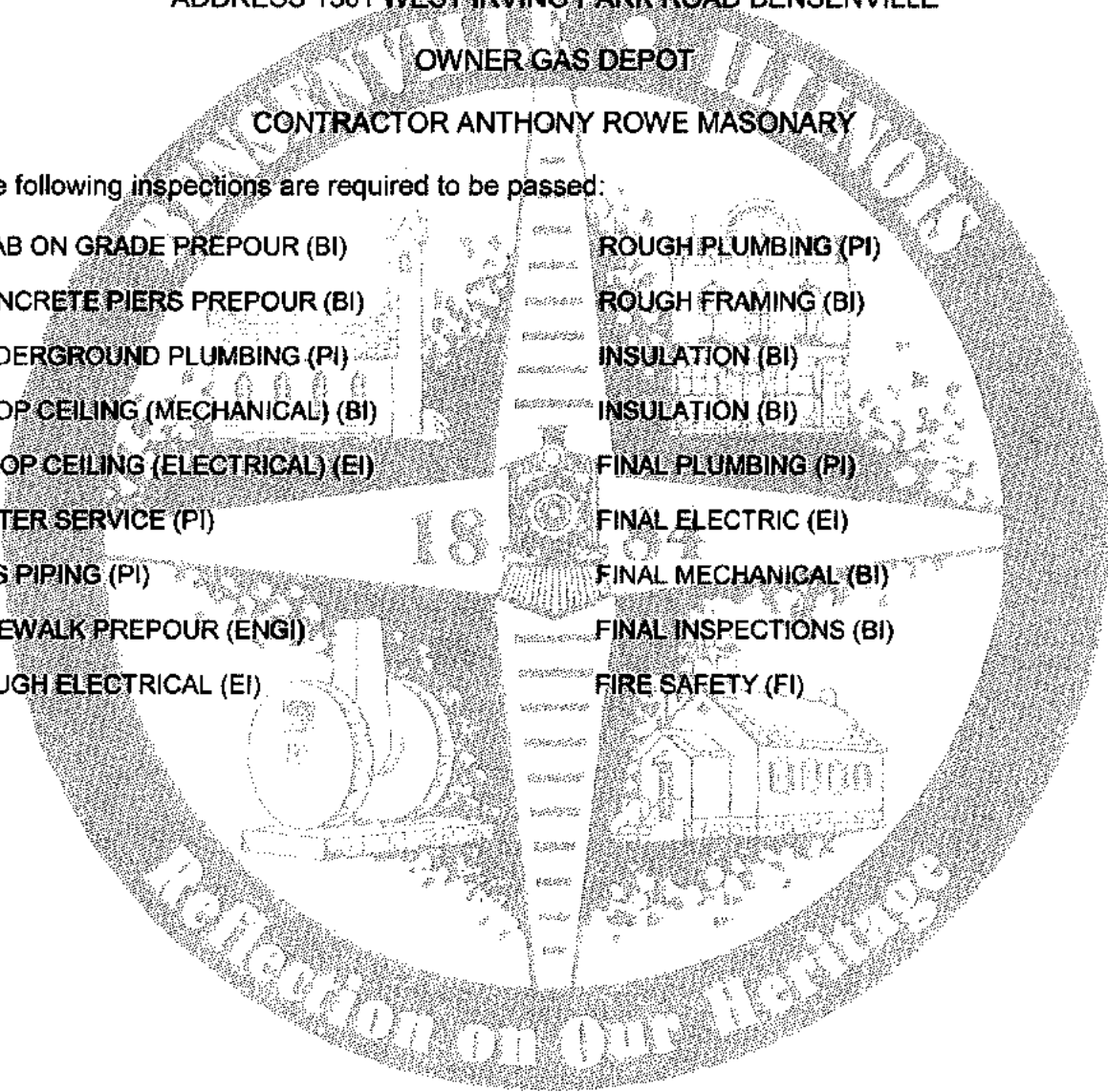
ADDRESS 1301 WEST IRVING PARK ROAD BENSENVILLE


OWNER GAS DEPOT

CONTRACTOR ANTHONY ROWE MASONARY

The following inspections are required to be passed:

SLAB ON GRADE PREPOUR (BI)	ROUGH PLUMBING (PI)
CONCRETE PIERS PREPOUR (BI)	ROUGH FRAMING (BI)
UNDERGROUND PLUMBING (PI)	INSULATION (BI)
DROP CEILING (MECHANICAL) (BI)	INSULATION (BI)
DROP CEILING (ELECTRICAL) (EI)	FINAL PLUMBING (PI)
WATER SERVICE (PI)	FINAL ELECTRIC (EI)
GAS PIPING (PI)	FINAL MECHANICAL (BI)
SIDEWALK PREPOUR (ENG)	FINAL INSPECTIONS (BI)
ROUGH ELECTRICAL (EI)	FIRE SAFETY (FI)



	
State of Illinois	
Department of Financial and Professional Regulation	
Division of Professional Regulation	
LICENSE NO. 104.002787 105.003921	The person, firm or corporation whose name appears on this certificate has complied with the provisions of the Illinois Statutes and/or rules and regulations and is hereby authorized to engage in the activity as indicated below.
LICENSED ROOFING CONTRACTOR UNLIMITED	
JOHN W TRENT DBA TRENT ROOFING & CONSTRUCTION PO BOX 4328 CHICAGO, IL 60680	
MANUEL R. OREB ACTING SECRETARY	JAY STEWART DIRECTOR
The official status of this license can be verified at www.idfpr.com	
7791042	

Cut on Dotted Line

WKT TO

224.633-8360

8/18/2011

CERTIFICATE OF REGISTRATION

ISSUED BY THE
DEPARTMENT OF BUILDING AND ZONING
OF COOK COUNTY

FIRM NAME: CHARMS ELECTRICAL CONSTR.
9014 S CREGIER
CHICAGO, ILLINOIS 60617

TYPE OF CONTRACTOR: ELECTRIC

REGISTRATION NO. 048792

DATE ISSUED: MAY 1, 2014

FEE PAID: \$105.00

VALID TO: NOVEMBER 30, 2014



T. P. Bleuher

BUILDING AND ZONING COMMISSIONER
TIMOTHY P. BLEUHER

Thank you for registering as a Contractor with the Cook County Department of Building and Zoning. Please be advised that you should retain the Certificate of Registration above in your office. The Contractor's Registration Card (lower right hand corner) must be kept on your person and you may be required to produce this card at times for Inspectors of the Department of Building and Zoning.

CHARMS ELECTRICAL CONSTR.
9014 S CREGIER
CHICAGO, ILLINOIS 60617

773-220-4190

8207

WAB-726-4632

DEPARTMENT OF BUILDING & ZONING OF COOK COUNTY

TONI PRECKWINKLE
President of the Board of
Commissioners of Cook County

TIMOTHY P. BLEUHER
Commissioner of Building
and Zoning of Cook County

CONTRACTOR REGISTRATION CARD CHARMS ELECTRICAL CONSTR.

Firm _____

Address 9014 S CREGIER CHICAGO, ILLINOIS

Owner CHALMER L BRYANT II

Type of Contractor ELECTRIC

Authorized Member of Firm _____

Registration No. 048792 Valid to NOVEMBER 30, 2014

T. P. Bleuher
COMMISSIONER

** 29467*

VILLAGE OF BENSENVILLE

NON-RESIDENTIAL PERMIT APPLICATION

PERMIT INFORMATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

1301 W. Irving Park Road. C-2

SITE ADDRESS NUMBER ZONE/DISTRICT

INTERIOR BUILD-OUT TO CHANGE USE OF BLDG. FROM

DESCRIPTION OF WORK: ~~RESTAURANT~~ ~~TO MECHANICAL CONVENIENCE STORE~~ ~~2 DRIVE-THRU~~ ~~INITIAL DEMO ONLY~~

PLN (Plan Refraction Number) \$5,000

ESTIMATED COST

CONTRACTOR INFORMATION

ANTHONY ROWIE MASONRY

GENERAL CONTRACTOR 11416 S. PRAIRIE

Address City, State & ZIP Code

Daytime Phone

Address City, State & ZIP Code

Daytime Phone

Address City, State & ZIP Code

Daytime Phone

Address City, State & ZIP Code

Daytime Phone

Address City, State & ZIP Code

Daytime Phone

Address City, State & ZIP Code

Daytime Phone

OWNER & APPLICANT INFORMATION

I hereby certify that the person or persons who have signed this application are the owner or owners of the property and are authorized to execute this application and to execute the permit on behalf of the owner or owners of the property.

ANTHONY ROWIE MASONRY

General Contractor 11416 S. PRAIRIE AVE CHICAGO IL 60628

Address City, State & ZIP Code

Daytime Phone

Property Owner's Name (Print) 1301 W. Irving Park Road Bensenville, IL

Property Owner's Address City, State & ZIP Code

Property Owner's Signature Date 1/21/14

DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT
PHONE: 630.350.3411 FAX: 630.350.3446125 CENTER STREET
BENSENVILLE, ILL. 60015

APPLICATION NUMBER

BUILDING INFORMATION (PLEASE check all that apply)

☐ New Construction ☐ Addition ☒ Alteration ☐ Accessory

INTENDED USE:

☐ Assembly/Restaurant ☐ Industrial/Medical ☐ Factory/Industrial

☒ Mercantile/Retail ☐ Storage/Warehouse ☐ Business/Office

☐ Other

☐ Single Tenants/Building ☐ Multiple Tenants/Building (# of Tenants: _____)

Existing Fire Alarm? ☐ Yes ☒ No

Existing Sprinkler System? ☐ Yes ☒ No

Full Building Coverage? ☐ Yes ☒ No (% of coverage: _____)

Name of Business on Site GAS DEPOT

Occupational Operators AUTO, REPAIRING STORE

Existing Sq. Ft. New Sq. Ft. Total Sq. Ft.

OFFICE USE ONLY

TYPE	DATE	REVISIONS
EXHIBIT	1/21/14	1/21/14
APPROVAL	1/21/14	1/21/14
PERMIT	1/21/14	1/21/14
REVISIONS	1/21/14	1/21/14
WATER CONNECTION	1/21/14	1/21/14
WATER METER	1/21/14	1/21/14
SEWER CONNECTION	1/21/14	1/21/14
SEWER METER	1/21/14	1/21/14
WELLS	1/21/14	1/21/14
OTHER PERMITS	1/21/14	1/21/14

I hereby certify that the person or persons who have signed this application are the owner or owners of the property and are authorized to execute this application and to execute the permit on behalf of the owner or owners of the property.

VILLAGE OF BENSENVILLE

Department of Community and Economic Development

CONDITIONS OF THE PERMIT

SITE LOCATION: 1301 WEST IRVING PARK ROAD
INTENDED USE: C-2
APPLICATION NO: 4009
APPLICATION TYPE: DEMO NON RES OTHER STRUCTURE
DESCRIPTION OF WORK: INTERIOR DEMO

FILE COPY

1. All work whether approved or not shall be in compliance with the applicable codes and ordinances.
2. Contact the Community and Economic Development Department 24 hours in advance at 630-350-3413 for any necessary inspections.
3. No work except what has been approved or required shall be permitted through the execution of this permit. No changes to the approved plans will be permitted without authorization by the Department of Community and Economic Development in writing.
4. THESE PLANS & CONDITIONS MUST BE AT THE JOB SITE AND AVAILABLE FOR EACH INSPECTION. If the approved copy is not available, the inspection will not be conducted and the report shall be marked "Not Approved." DO NOT REMOVE THESE CONDITIONS FROM THE PLANS.
5. SPECIAL CONDITIONS TO APPLICATION NUMBER 4009

PLAN EXAMINER REVIEW

All conditions are mandatory, changes on the approved plans/documents will not be permitted without written authorization from the Community & Economic Development Department. Failure to comply with the preceding conditions will invalidate the approval of this permit.

All work must be inspected in accordance with the inspection list provided with this permit. Work concealed without the required inspection and approval must be exposed for inspection (at owner's/contractor's expense) as directed by the Village Inspector.

Permit is limited to interior demolition of the building. Issuing this permit in no way implies that the CONDITIONAL-USE PERMIT that has been applied for is approved. The owner accepts

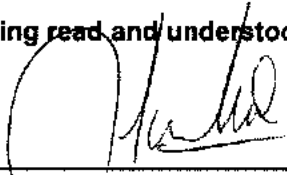
responsibility that he/she is having this work done at their own risk. With the removal of the bathrooms, there shall not be any business conducted.

All plumbing shall be capped. All electric wiring shall be terminated in an approved box.

All work must be performed in a neat and workmanlike manner by persons who are skilled in their trades in full performance with the Village Code. All work must be inspected in accordance with the inspection lists provided with this permit. Owner/Contractor is responsible to expose any work concealed without the required inspection and approval.

The completion of this project and the bond refund process is subject to the final inspection and approval by the Village Inspector. NOTE: All debris shall be removed and landscaping must be returned to original conditions prior to final inspection.

Having read and understood the preceding conditions, I hereby agree to comply with them.



SIGNATURE

Jose mathew

NAME (PRINT)

01-31-14

DATE

Office of the Illinois State Fire Marshal
Division of Petroleum and Chemical Safety
1035 Stevenson Drive
Springfield IL 62703

80050170090

Facility #	2023377
Date	1/12/2017
Notification Form Received	Y N <input type="radio"/> <input checked="" type="radio"/>

NOTICE OF VIOLATION (UST)

Facility Status: Inactive

OWNER OF TANKS

Kyriakos Giannoudakos
Name
420 Sunnyside Ave
Street Address
Itasca IL 60143
City State Zip
Contact Person Phone

FACILITY

Lincolnwood Gas and Food, Inc.
Name
1301 W. Irving Park
Street Address
Bensenville IL 60106 Du Page
City State Zip County
Len Bairaktaris 630-860-9499
Contact Person Phone

Violations of 41 Ill. Adm Code 174, 175, 176 and 177 of the Office of the Illinois State Fire Marshal and 40 CFR Parts 280 of the Federal Register requirements are hereby called to your attention. The violations found and corrections to be made have been identified below or stated in the remarks section. Any repairs, modifications or alterations to the tank system must be performed in compliance with OSFM rules and by a contractor licensed by this office. You are allowed a 60-day window to come into compliance effective from the date of this notice. If compliance is not made by **3/13/2017**, your underground storage tanks system will be **RED TAGGED**. You are prohibited from having product placed into the UST system when a **RED TAG** exists. Contact the Storage Tank Safety Specialist below when said violations are corrected and if you have any questions.

RED TAGS WILL NOT BE REMOVED UNTIL ALL DEFICIENCIES HAVE BEEN CORRECTED.

TANK SYSTEM INFORMATION

Tank	Capacity	Product	Status
1	10,000	Gasoline	Condemned Tank
2	10,000	Gasoline	Condemned Tank
3	6,000	Gasoline	Condemned Tank

SECTION A.	TANK RELEASE DETECTION
SECTION B.	PIPING RELEASE DETECTION
SECTION C.	SPILL PREVENTION
SECTION D.	OVERFILL PREVENTION
SECTION E.	TANK CORROSION PROTECTION
SECTION F.	PIPING CORROSION PROTECTION
SECTION G.	DISPENSERS AND HOSES
SECTION H.	MISCELLANEOUS

Facility Violation Text:

Financial responsibility must be reported yearly (41 Ill. Adm. Code 176.220(c) & (d))

Remarks:

Remarks:

(Note: If any equipment fails or is identified as deficient during testing, it must be repaired or replaced to comply with this violation.)

- ☒ Signature unobtainable
☐ Signature refused

1/12/2017

X *B. Kowalski*

Signed by: Robert L. Kowalski

Signed by Robert L. Kowalski [View details](#)

on Thursday, January 12, 2017 10:54 AM (Central Standard Time)

Storage Tank Safety Specialist (Signature)

Phone: 217-299-6103

Exit interview given to _____ Title _____

. tank removal



Office of the Illinois State Fire Marshal
Division of Petroleum and Chemical Safety
1035 Stevenson Drive
Springfield, IL 62703
2177851020

Extended

FOR OFFICE USE ONLY

Facility # 2023377
Permit # 00629-2016REM
Request Rec'd 05/31/2016
Amended Date
Approval Date 6/1/2016 SB
Permit Expires 6/1/2017

Permit for REMOVAL of Underground Storage Tank(s) and Piping for Petroleum and Hazardous Substances.

Permission to remove underground storage tank(s) or piping is hereby granted. Such removal shall not commence until the contractor the permit was issued to or an employee of that contractor (this does not include a subcontractor) shall establish a date certain to perform the UST activity by contacting the Office of the State Fire Marshal, Division of Petroleum and Chemical Safety, at which time the UST activity shall be scheduled. **THIS PERMIT IS VALID FOR SIX MONTHS FROM THE APPROVAL DATE.**

<p>(1) <u>OWNER OF TANKS</u> - Corporation, partnership, or other business entity:</p> <p>K & L Auto Service 1301 W. Irving Park Bensenville, IL 60106</p> <p>Contact: Jose Mathew (773) 551-1541</p>	<p>(2) <u>FACILITY</u> - name and address where tanks are located:</p> <p>Lincolnwood Gas and Food, Inc. 1301 W. Irving Park Bensenville, IL 60106</p> <p>Contact: Len Bairaktaris (630) 860-9499</p>
--	--

(3) REMOVAL OF TANKS:

- (a) *Number and size of tanks being removed: (TK # 1, 2) - 10,000, (TK # 3) - 6,000*
- (b) *Description/location of piping being removed:*
- (c) *Product to be stored in each tank: (TK # 1, 2, 3) - Gasoline*
- (d) *Reason of tanks being removed:*
- (e) *If tank(s) is leaking, indicate IEMA incident number:*
- (f) *Date each tank was last used: (TK # 1, 2, 3) - 2/15/2013*

- (4) The owner must notify this Office when completion of tank removal has occurred, on the Notification for Underground Storage Tank Form. This form can be obtained at www.sfm.illinois.gov or by calling (217)785-1020. After removal is completed, the owner/operator shall perform a site assessment by measuring for the presence of a release where contamination is most likely to be present at the UST site. This is in accordance with the Illinois Administrative Code 176.360 (a) regulations and 40 CFR Part 280.72 (a) Federal Register Requirement.

(5) SPECIAL CONTINGENCIES :

(6) PERSON, FIRM OR COMPANY PERFORMING WORK:

BMPC, Inc.
1510 Spring Bay Road, Unit E
East Peoria, IL 61611

Contact Person: Amanda McCormick
Phone: (309) 208-5264
Contractor Registration # IL002393 Exp. 12/12/2016

Sincerely,

Shelly Bradley

Shelly Bradley



12 S. Center St.
Bensenville, IL 60006

Office: 630.786.8200
Fax: 630.594-4005

www.bensenville.il.us

VILLAGE BOARD

President
Frank P. Smerone

Board of Trustees
Steve Carmona
Ann Fennel
Agneska "Annie" Jankowska
Michael Lomas
Richard Parnell, Jr.
Amanda Peltz

Village Clerk
Nancy Blum

Village Manager
Joseph J. Summers

July 31, 2017

Mr. Leonidas Bairaktiaris
6 N 068 Acacia Lane
Medinah, IL 60157

RE: 1301 West Irving Park Road

Dear Mr. Bairaktiaris:

I am writing to inform you of the Municipal Code requirement that mandates the removal of signage that no longer advertises an activity, business or use conducted on the property. Please accept this correspondence as notice to remove tall signage at the above-cited address no later than September 1, 2017. Failure to do so may result in the issuance of an Administrative Adjudication Citation and possible fines of up to \$750 per sign per day.

Additionally, please refer to my prior correspondence relating to the number of expired and still open building permits and the abandonment of the existing non-conforming use as a Service Station.

If you should have any questions, please feel free to contact me at 630.350.3411.

Sincerely,

Scott R. Viger A.I.C.P.
Director / Community &
Economic Development



22 S. Center St.
Bensenville, IL 60155

Office: 630.766.2700
Fax: 630.594.4015

www.bensenville.il.us

VILLAGE BOARD

President

Frank Nappi

Board of Trustees

Araceli Canales

Frank DeSimone

Araceli Canales

Mary Jo O'Connell

Henry Wozniak

Village Clerk

Tom Ryan - 630.594.4015

Village Manager

David F. Surprenant

04.12.16

Mr. Leonidas Bairaktiaris
6 N 068 Acacia Lane
Medinah, IL 60157

RE: 1301 West Irving Park Road

Dear Mr. Bairaktiaris:

I know that both Anthony Bagnola and Tom Knight of my staff have contacted you in the past about your property cited above. This correspondence is meant to recap the status, outline the actions necessary to move ahead and obtain your plan to do so.

We have four unresolved building permits:

#4009 expired 07.31.2014

#4313 expired 02.25.2015

#4842 expired 08.13.2015

#4928 expired 10.14.2015

All of these permits need to be extended, the work and inspections completed. Dean Lawrentz (630.350.3410) can assist you with this aspect.

A gas station requires a Conditional Use Permit (CUP) to operate in the Village. It is my belief that 1301 West Irving Park Road was never issued a CUP and thus operated as an "existing non-conforming use". When such a use is closed for longer than 180 days, regardless of the intent to reopen, its existing non-conforming status is abandoned. To reopen the gas station a CUP will need to be obtained through a Public Hearing process and ultimately be approved by the President and Village Board of Trustees.

I look forward to speaking and / or meeting with you to further discuss this situation.

Sincerely,

Scott R. Viger A.I.C.P.
Director Community &
Economic Development



VILLAGE OF BENSENVILLE
INSPECTIONAL SERVICES
12 South Center
Bensenville, IL 60106
630-350-3413 fax:630-350-3449

Type of Inspection: BUSINESS LICENSE INSPECTION

CORRECTION NOTICE

Address: 1301 IRVING PARK

Unit:

Business name:: ETHAN K PETROLEUM INC

Phone: [REDACTED]

Business Owner: ETHAN K PETROLEUM INC

Address: 1301 W IRVING PARK ROA BENSENVILLE, IL

Inspection Date: 3/7/13

Inspector: TOM KNIGHT

<u>Checklist #</u>	<u>Violation</u>	<u>Violation comment</u>
120D	REPLACE PAINTED RECEPTICALS	Painted electrical boxes are not approved.
120N	BREAKER LOCKS	Provide breaker locks for circuits serving the EXIT lights and emergency lights.
160N	FLAMMABLES SHOULD BE REMOVED	Remove storage on/around coolers (back room). Maintain clear area at all times.

Additional Remarks/Comments:

Reinspection 20536 created on 03/07/2013
by 6523tkni

THOSE ITEMS LISTED ABOVE ARE VIOLATIONS OF BENSENVILLE'S ADOPTED VILLAGE CODE AND/OR PROPERTY MAINTENANCE CODE. THIS IS YOUR WRITTEN "CORRECTION NOTICE". FAILURE TO CORRECT THE ABOVE LISTED VIOLATIONS WITHIN THE PRESCRIBED TIME CAN RESULT IN A FINE OF UP TO \$750 PER VIOLATION, PER DAY.

You are hereby notified to remedy the conditions as stated above within 30 days from the date of this order. Appeal from this order may be made within 20 days from the above date of service. Direct such appeal for a hearing before the Bensenville Board of Appeals in writing through the Director of Inspectional Services, 12 South Center.

Neither this inspection nor any Certificate of Occupancy issued by the Village of Bensenville shall be considered a complete list of Code or Municipal Ordinances. Our inspection can be substantially limited by access available and stored items or furniture. Some occupancies may require inspections to be completed on individual systems such as heating appliances, roofing, structure or fire protection systems. If you have questions about this inspection, please call 630-350-3448.

DISCLAIMER: The Village of Bensenville does not warrant the condition of any property inspected and disclaims all liability for any claims arising out of the property or condition thereof.

Copy of this report received by/mailed to: _____

Inspector: _____ Date: _____



Inspection Number: 20536

**VILLAGE OF BENSENVILLE
INSPECTIONAL SERVICES**

12 South Center
Bensenville, IL 60106
630-350-3413 fax:630-350-3449

Type of Inspection: BUSINESS LICENSE INSPECTION

CORRECTION NOTICE

Address: 1301 IRVING PARK

Unit:

Business name: ETHAN K PETROLEUM INC

Phone: [REDACTED]

Business Owner: ETHAN K PETROLEUM INC

Address: 1301 W IRVING PARK ROAD BENSENVILLE, IL

Inspection Date: 5/10/13

Inspector: TOM KNIGHT

<u>Checklist #</u>	<u>Violation</u>
120D	REPLACE PAINTED RECEPTICALS
120N	BREAKER LOCKS
160N	FLAMMABLES SHOULD BE REMOVED

<u>Violation comment</u>
Painted electrical boxes are not approved.
Provide breaker locks for circuits serving the EXIT lights and emergency lights.
Remove storage on/around coolers (back room). Maintain clear area at all times.

Additional Remarks/Comments:

Created from inspection 20535 on
03/07/2013 by 6523tkni

Reinspection 21878 created on 05/10/2013
by 6523tkni

THOSE ITEMS LISTED ABOVE ARE VIOLATIONS OF BENSENVILLE'S ADOPTED VILLAGE CODE AND/OR PROPERTY MAINTENANCE CODE. THIS IS YOUR WRITTEN "CORRECTION NOTICE". FAILURE TO CORRECT THE ABOVE LISTED VIOLATIONS WITHIN THE PRESCRIBED TIME CAN RESULT IN A FINE OF UP TO \$750 PER VIOLATION, PER DAY.

You are hereby notified to remedy the conditions as stated above within 30 days from the date of this order. Appeal from this order may be made within 20 days from the above date of service. Direct such appeal for a hearing before the Bensenville Board of Appeals in writing through the Director of Inspectional Services, 12 South Center.

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DISCLAIMER: The Village of Bensenville does not warrant the condition of any property inspected and disclaims all liability for any claims arising out of the property or condition thereof.

Copy of this report received by/mailed to: _____

Inspector: _____ Date: _____



**VILLAGE OF BENSENVILLE
INSPECTIONAL SERVICES**

12 South Center
Bensenville, IL 60106
630-350-3413 fax:630-350-3449

Type of Inspection: CORRECTION NOTICE

CORRECTION NOTICE

Address: 1301 W Irving Park Rd.

Unit:

Business name:

Phone:

Business Owner: BAIRAKTIARIS, LEONIDAS

Address:

Inspection Date: 2-27-19

Inspector: LOUIS CZERWIN

Checklist #	Violation	Violation comment
005	VILLAGE REGULATIONS	Village ordinance 3-20-2- prohibits clothing donation boxes.

Additional Remarks/Comments:

Another donation box has been placed upon your property, please remove this box in within the allotted time frame.

Reinspection 65454 created on 02/27/2019
by 6523lcze

THOSE ITEMS LISTED ABOVE ARE VIOLATIONS OF BENSENVILLE'S ADOPTED VILLAGE CODE AND/OR PROPERTY MAINTENANCE CODE. THIS IS YOUR WRITTEN "CORRECTION NOTICE". FAILURE TO CORRECT THE ABOVE LISTED VIOLATIONS WITHIN THE PRESCRIBED TIME CAN RESULT IN A FINE OF UP TO \$750 PER VIOLATION, PER DAY.

You are hereby notified to remedy the conditions as stated above within 30 days.

Neither this inspection nor any Certificate of Occupancy issued by the Village of Bensenville shall be considered a complete list of Code or Municipal Ordinances.

Our inspection can be substantially limited by access available and stored items or furniture.

Some occupancies may require inspections to be completed on individual systems such as heating appliances, roofing, structure or fire protection systems.

If you have questions about this inspection, please call 630-350-3448.

DISCLAIMER: The Village of Bensenville does not warrant the condition of any property inspected and disclaims all liability for any claims arising out of the property or condition thereof.

sent via usps

Copy of this report received by/mailed to:

Louie Czerwin

2-27-19

Inspector:

Date:



**VILLAGE OF BENSENVILLE
INSPECTIONAL SERVICES**

12 South Center
Bensenville, IL 60106
630-350-3413 fax:630-350-3449

Type of Inspection: CORRECTION NOTICE

CORRECTION NOTICE

Address: 1301 IRVING PARK

Unit:

Business name:

Phone:

Business Owner: BAIRAKTIARIS, LEONIDAS

Address:

Inspection Date: 6-13- 2018

Inspector: LOUIS CZERWIN

Checklist #	Violation	Violation comment
005	VILLAGE REGULATIONS	Village ordinance 3-20-2- prohibits clothing donation boxes. Please remove asap

Additional Remarks/Comments:

Reinspection 60476 created on 06/13/2018
by 6523lcze

THOSE ITEMS LISTED ABOVE ARE VIOLATIONS OF BENSENVILLE'S ADOPTED VILLAGE CODE AND/OR PROPERTY MAINTENANCE CODE. THIS IS YOUR WRITTEN "CORRECTION NOTICE". FAILURE TO CORRECT THE ABOVE LISTED VIOLATIONS WITHIN THE PRESCRIBED TIME CAN RESULT IN A FINE OF UP TO \$750 PER VIOLATION, PER DAY.

You are hereby notified to remedy the conditions as stated above within 30 days.

Neither this inspection nor any Certificate of Occupancy issued by the Village of Bensenville shall be considered a complete list of Code or Municipal Ordinances. Our inspection can be substantially limited by access available and stored items or furniture. Some occupancies may require inspections to be completed on individual systems such as heating appliances, roofing, structure or fire protection systems. If you have questions about this inspection, please call 630-350-3448.

DISCLAIMER: The Village of Bensenville does not warrant the condition of any property inspected and disclaims all liability for any claims arising out of the property or condition thereof.

Copy of this report received by/mailed to: _____

Inspector: _____

Date: _____



VILLAGE OF BENSENVILLE
INSPECTIONAL SERVICES
 12 South Center
 Bensenville, IL 60106
 630-350-3413 fax:630-350-3449

Type of Inspection: CORRECTION NOTICE

CORRECTION NOTICE

Address: 1301 IRVING PARK

Unit:

Business name::

Phone:

Business Owner: Leonidas Bairaktaris

Address:

Inspection Date: 12/18/2017 12:00:00AM

Inspector: LOUIS CZERWIN

Checklist #	Violation
005	VILLAGE REGULATIONS

Violation comment
Village Ordinance 3-20-2-E prohibits donation bins from being outdoors. Please remove the bin

Additional Remarks/Comments:

Please remove Donation bin in the allotted time to avoid a citation.

Reinspection 56572 created on 12/18/2017
 by 6523lcze

THOSE ITEMS LISTED ABOVE ARE VIOLATIONS OF BENSENVILLE'S ADOPTED VILLAGE CODE AND/OR PROPERTY MAINTENANCE CODE. THIS IS YOUR WRITTEN "CORRECTION NOTICE". FAILURE TO CORRECT THE ABOVE LISTED VIOLATIONS WITHIN THE PRESCRIBED TIME CAN RESULT IN A FINE OF UP TO \$750 PER VIOLATION, PER DAY.

You are hereby notified to remedy the conditions as stated above within 30 days.

Neither this inspection nor any Certificate of Occupancy issued by the Village of Bensenville shall be considered a complete list of Code or Municipal Ordinances. Our inspection can be substantially limited by access available and stored items or furniture. Some occupancies may require inspections to be completed on individual systems such as heating appliances, roofing, structure or fire protection systems. If you have questions about this inspection, please call 630-350-3448.

DISCLAIMER: The Village of Bensenville does not warrant the condition of any property inspected and disclaims all liability for any claims arising out of the property or condition thereof.

Copy of this report received by/mailed to: _____

Inspector: _____

Date: _____



VILLAGE OF BENSENVILLE
INSPECTIONAL SERVICES
 12 South Center
 Bensenville, IL 60106
 630-350-3413 fax:630-350-3449

Type of Inspection: ANNUAL INSPECTION

CORRECTION NOTICE

Address: 1301 IRVING PARK

Unit:

Business name:: K&L Services

Phone:

Business Owner:

Address:

Inspection Date: 6/6/13

Inspector: TOM KNIGHT

<u>Checklist #</u>	<u>Violation</u>	<u>Violation comment</u>
020E	REMOVE ALL RUBBISH OR GARBAGE	Properly dispose of all rubbish, trash and garbage from property.
020F	OUTDOOR STORAGE	Outdoor storage is not approved. Remove barrels, tires, chairs, trash and rubbish.
020G	OUTDOOR STORAGE	Outdoor storage is not approved. Remove disabled cars.
030J	GARBAGE CORRAL NEEDED	Garbage corral required. Provide enclosure to prevent fly-away trash.
050A	DOWNSPOUT 1 FT FROM FOUNDATION	Provide downspout to direct rain water away from foundation.
090	INTERIOR SURFACES	Clean floor and interior surfaces of dirt and oily residue.
090A	CLEAN AND SANITIZE AREA	Remove and properly dispose of all trash, debris, and unnecessary storage. Practice good housekeeping and maintain regular maintenance schedule.
120G	BREAKER LOCKS	Provide breaker locks to circuits that serve the EXIT lights and emergency lights.
120H	LABEL ELECTRICAL BREAKERS	Identify breakers as to the circuits they serve.
120I	REMOVE ALL EXTENSION CORDS/MULTI-TAP	Remove and discontinue use of multi-tap plugs (coffee machine).
150E	HEATING UNIT	Provide cover to heating unit.
160F	FIRE EXTINGUISHERS	Fire extinguishers must be mounted to the wall no higher than 42".
160P	FLAMMABLES IMPROPERLY STORED	Oil storage must be kept clean and orderly in a designated area. Dispose of all open and used oil containers.
160Q	IMPROPER BATTERY STORAGE	Properly dispose of used vehicle batteries. Vehicle batteries must be stored away from other combustibles in a designated area. Remove storage/debris from on/around batteries.
160T	PROPERLY SECURE COMPRESSED GAS	Compressed gas cylinders must be secured to the wall by chain when not in use.
175G	KEEP STORAGE 36 IN. FROM HEATING	Remove storage/debris from around heating unit. Maintain 36" clearance at all times.
180J	BUSINESS LICENSE - ANNUALLY	No BL on file with tenant. Apply for BL at Village Hall.
180N	VILLAGE STICKER NOT DISPLAYED	Village sticker required for tow truck. Sticker available at Village Hall.

Additional Remarks/Comments:

Created from inspection 21446 on
 04/25/2013 by 6523tkni

Reinspection 22449 created on 06/06/2013
 by 6523tkni



VILLAGE OF BENSENVILLE
INSPECTIONAL SERVICES
 12 South Center
 Bensenville, IL 60106
 630-350-3413 fax:630-350-3449

Type of Inspection: ANNUAL INSPECTION

CORRECTION NOTICE

Address: 1301 IRVING PARK

Unit:

Business name: K&L Services

Phone:

Business Owner:

Address:

Inspection Date: 6/6/13

Inspector: TOM KNIGHT

THOSE ITEMS LISTED ABOVE ARE VIOLATIONS OF BENSENVILLE'S ADOPTED VILLAGE CODE AND/OR PROPERTY MAINTENANCE CODE. THIS IS YOUR WRITTEN "CORRECTION NOTICE". FAILURE TO CORRECT THE ABOVE LISTED VIOLATIONS WITHIN THE PRESCRIBED TIME CAN RESULT IN A FINE OF UP TO \$750 PER VIOLATION, PER DAY.

You are hereby notified to remedy the conditions as stated above within 14 days from the date of this order. Appeal from this order may be made within 20 days from the above date of service. Direct such appeal for a hearing before the Bensenville Board of Appeals in writing through the Director of Inspectional Services, 12 South Center.

Neither this inspection nor any Certificate of Occupancy issued by the Village of Bensenville shall be considered a complete list of Code or Municipal Ordinances. Our inspection can be substantially limited by access available and stored items or furniture. Some occupancies may require inspections to be completed on individual systems such as heating appliances, roofing, structure or fire protection systems. If you have questions about this inspection, please call 630-350-3448.

DISCLAIMER: The Village of Bensenville does not warrant the condition of any property inspected and disclaims all liability for any claims arising out of the property or condition thereof.

Copy of this report received by/mailed to: _____

Inspector: _____ Date: _____

**VILLAGE OF BENSENVILLE****INSPECTIONAL SERVICES**

12 South Center
Bensenville, IL 60106
630-350-3413 fax:630-350-3449

Type of Inspection: CORRECTION NOTICE

CORRECTION NOTICE

Address: 1301 IRVING PARK

Unit:

Business name:: ETHAN K PETROLEUM INC

Phone: [REDACTED]

Business Owner: ETHAN K PETROLEUM INC

Address: 1301 W IRVING PARK ROA BENSENVILLE, IL

Inspection Date: 5/1/13

Inspector: TOM KNIGHT

Checklist #

005A

Violation

ALLOWABLE USE

Violation comment

Painting of vehicles and vehicle parts is not permitted. Remove paint and painting supplies from premises and discontinue practice.

Additional Remarks/Comments:

Reinspection 21552 created on 05/01/2013
by 6523tkni

THOSE ITEMS LISTED ABOVE ARE VIOLATIONS OF BENSENVILLE'S ADOPTED VILLAGE CODE AND/OR PROPERTY MAINTENANCE CODE. THIS IS YOUR WRITTEN "CORRECTION NOTICE". FAILURE TO CORRECT THE ABOVE LISTED VIOLATIONS WITHIN THE PRESCRIBED TIME CAN RESULT IN A FINE OF UP TO \$750 PER VIOLATION, PER DAY.

You are hereby notified to remedy the conditions as stated above within 30 days from the date of this order. Appeal from this order may be made within 20 days from the above date of service. Direct such appeal for a hearing before the Bensenville Board of Appeals in writing through the Director of Inspectional Services, 12 South Center.

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Copy of this report received by/mailed to: _____

Inspector: _____

Date: _____

**VILLAGE OF BENSENVILLE****INSPECTIONAL SERVICES**

12 South Center

Bensenville, IL 60106

630-350-3413 fax:630-350-3449

Type of Inspection: ANNUAL INSPECTION

CORRECTION NOTICE

Address: 1301 IRVING PARK

Unit:

Business name::

Phone:

Business Owner:

Address:

Inspection Date: 4/25/13

Inspector: TOM KNIGHT

<u>Checklist #</u>	<u>Violation</u>	<u>Violation comment</u>
005	VILLAGE REGULATIONS	Vehicles on display "For Sale" are not approved. Remove vehicles from property.
020E	REMOVE ALL RUBBISH OR GARBAGE	Properly dispose of all rubbish, trash and garbage from property.
020F	OUTDOOR STORAGE	Outdoor storage is not approved. Remove barrels, tires, chairs, trash and rubbish.
020G	OUTDOOR STORAGE	Outdoor storage is not approved. Remove disabled cars.
030J	GARBAGE CORRAL NEEDED	Garbage corral required. Provide enclosure to prevent fly-away trash.
050A	DOWNSPOUT 1 FT FROM FOUNDATION	Provide downspout to direct rain water away from foundation.
090	INTERIOR SURFACES	Clean floor and interior surfaces of dirt and oily residue.
090A	CLEAN AND SANITIZE AREA	Remove and properly dispose of all trash, debris, and unnecessary storage. Practice good housekeeping and maintain regular maintenance schedule.
120G	BREAKER LOCKS	Provide breaker locks to circuits that serve the EXIT lights and emergency lights.
120H	LABEL ELECTRICAL BREAKERS	Identify breakers as to the circuits they serve.
120I	REMOVE ALL EXTENSION CORDS/MULTI-TAP	Remove and discontinue use of multi-tap plugs (coffee machine).
150E	HEATING UNIT	Provide cover to heating unit.
160F	FIRE EXTINGUISHERS	Fire extinguishers must be mounted to the wall no higher than 42".
160P	FLAMMABLES IMPROPERLY STORED	Oil storage must be kept clean and orderly in a designated area. Dispose of all open and used oil containers.
160Q	IMPROPER BATTERY STORAGE	Properly dispose of used vehicle batteries. Vehicle batteries must be stored away from other combustibles in a designated area. Remove storage/debris from on/around batteries.
160T	PROPERLY SECURE COMPRESSED GAS	Compressed gas cylinders must be secured to the wall by chain when not in use.
175G	KEEP STORAGE 36 IN. FROM HEATING	Remove storage/debris from around heating unit. Maintain 36" clearance at all times.
180B	EXTINGUISHERS - ANNUALLY	Fire extinguishers require annual inspection/testing. Provide current inspection tags.
180J	BUSINESS LICENSE - ANNUALLY	No BL on file with tenant. Apply for BL at Village Hall.
180N	VILLAGE STICKER NOT DISPLAYED	Village sticker required for tow truck. Sticker available at Village Hall.

Additional Remarks/Comments:

Reinspection 21447 created on 04/25/2013
by 6523tkni

**VILLAGE OF BENSENVILLE
INSPECTIONAL SERVICES**

12 South Center
Bensenville, IL 60106
630-350-3413 fax:630-350-3449

Type of Inspection: ANNUAL INSPECTION

CORRECTION NOTICE

Address: 1301 IRVING PARK

Unit:

Business name::

Phone:

Business Owner:

Address:

Inspection Date: 4/25/13

Inspector: TOM KNIGHT

THOSE ITEMS LISTED ABOVE ARE VIOLATIONS OF BENSENVILLE'S ADOPTED VILLAGE CODE AND/OR PROPERTY MAINTENANCE CODE. THIS IS YOUR WRITTEN "CORRECTION NOTICE". FAILURE TO CORRECT THE ABOVE LISTED VIOLATIONS WITHIN THE PRESCRIBED TIME CAN RESULT IN A FINE OF UP TO \$750 PER VIOLATION, PER DAY.

You are hereby notified to remedy the conditions as stated above within 30 days from the date of this order. Appeal from this order may be made within 20 days from the above date of service. Direct such appeal for a hearing before the Bensenville Board of Appeals in writing through the Director of Inspectional Services, 12 South Center.

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DISCLAIMER: The Village of Bensenville does not warrant the condition of any property inspected and disclaims all liability for any claims arising out of the property or condition thereof.

Copy of this report received by/mailed to: _____

Inspector: _____ Date: _____

**VILLAGE OF BENSENVILLE
NON-TRAFFIC COMPLAINT
AND NOTICE TO APPEAR**

CASE NO. VC-00135

TICKET # 135

STATE OF ILLINOIS COUNTY OF: COOK / DUPAGE

VILLAGE OF: BENSENVILLE

IN THE ADMINISTRATIVE ADJUDICATION COURT OF THE
VILLAGE OF BENSENVILLE
DUPAGE COUNTY, ILLINOIS

A MUNICIPALITY PLAINTIFF VS.

D E F E N D A N T	NAME BAIRAKTARIS, LEONIDAS R
	OWNER ADDRESS 1301 W. IRVING PARK RD., BENSENVILLE, IL 60106
	CITY BENSENVILLE STATE IL ZIP 60106
	PHONE NO. _____
	Location of Violation 1301 W. IRVING PARK RD., BENSENVILLE, IL 60106

THE UNDERSIGNED STATES THAT ON 07/10/2012 AT

THIS DEFENDANT DID UNLAWFULLY COMMIT THE FOLLOWING OFFENSE(S):

"Except as provided for in other regulations, no inoperative or unlicensed motor vehicle, or any vehicle owned by a person or persons residing in the Village of Bensenville not displaying a Bensenville Vehicle Sticker shall be parked, kept or stored on any premises, and no vehicle shall at any time be in a state of major disassembly, disrepair, or in the process of being stripped or dismantled. Painting of vehicles is prohibited unless conducted inside an approved spray booth."

①

Comment: Owner of property having inoperable motor vehicles stored on the property of which one is being used for storage

IN VIOLATION OF IPMC 302.8 (1a) OF THE BENSENVILLE MUNICIPAL CODE

"OUTDOOR STORAGE: The keeping outside of an enclosed building for more than twenty four (24) consecutive hours, other than as a temporary use as regulated herein, of goods, motor vehicles, recreational vehicles, utility trailer, semitrailers, dumpsters, temporary storage containers, machinery, equipment, or other materials, except parked motor vehicles or recreational vehicles used by the occupant of the premises or their visitors on residential properties. Outdoor storage areas are not parking lots, loading areas, outdoor sales or display areas, screened dumpsters serving the premises, junkyards, regional pollution control facilities, or wrecking yards as defined herein. Principal and accessory buildings, fences, and other structures may be accessory to outdoor storage uses..."

②

Comment: Owner of the property failing to remove all outdoor storage as requested in Business License Inspection

IN VIOLATION OF VC 10-2-3 OF THE BENSENVILLE MUNICIPAL CODE

AT: 1301 W. IRVING PARK RD., BENSENVILLE, IL 60106

**VILLAGE OF BENSENVILLE
NON-TRAFFIC COMPLAINT
AND NOTICE TO APPEAR**

CASE NO. VC-00108

TICKET # 108

STATE OF ILLINOIS COUNTY OF: COOK / DUPAGE

VILLAGE OF: BENSENVILLE

IN THE ADMINISTRATIVE ADJUDICATION COURT OF THE
VILLAGE OF BENSENVILLE
DUPAGE COUNTY, ILLINOIS

A MUNICIPALITY PLAINTIFF VS.

D E F E N D A N T	NAME	BAIRAKTARIS, LEONIDAS K		
	OWNER ADDRESS	[REDACTED]		
	CITY	MEDINAH	STATE	IL
	PHONE NO.	[REDACTED]		
	ZIP	[REDACTED]		
	Location of Violation	1301 W. IRVING PARK RD., BENSENVILLE, IL 60106		

THE UNDERSIGNED STATES THAT ON 06/07/2012 AT

THIS DEFENDANT DID UNLAWFULLY COMMIT THE FOLLOWING OFFENSE(S):

"Except as provided for in other regulations, no inoperative or unlicensed motor vehicle, or any vehicle owned by a person or persons residing in the Village of Bensenville not displaying a Bensenville Vehicle Sticker shall be parked, kept or stored on any premises, and no vehicle shall at any time be in a state of major disassembly, disrepair, or in the process of being stripped or dismantled. Painting of vehicles is prohibited unless conducted inside an approved spray booth."

Comment: Owner of property having inoperable motor vehicles stored on the property of which one is being used for storage

IN VIOLATION OF IPMC 302.8 (1a) OF THE BENSENVILLE MUNICIPAL CODE

"OUTDOOR STORAGE: The keeping outside of an enclosed building for more than twenty four (24) consecutive hours, other than as a temporary use as regulated herein, of goods, motor vehicles, recreational vehicles, utility trailer, semitrailers, dumpsters, temporary storage containers, machinery, equipment, or other materials, except parked motor vehicles or recreational vehicles used by the occupant of the premises or their visitors on residential properties. Outdoor storage areas are not parking lots, loading areas, outdoor sales or display areas, screened dumpsters serving the premises, junkyards, regional pollution control facilities, or wrecking yards as defined herein. Principal and accessory buildings, fences, and other structures may be accessory to outdoor storage uses..."

Comment: Owner of the property failing to remove all outdoor storage as requested in Business License Inspection

IN VIOLATION OF VC 10-2-3 OF THE BENSENVILLE MUNICIPAL CODE

**VILLAGE OF BENSENVILLE
NON-TRAFFIC COMPLAINT
AND NOTICE TO APPEAR**

CASE NO. VC-001,197.00

TICKET # 1197

STATE OF ILLINOIS COUNTY OF: COOK / DUPAGE

VILLAGE OF: BENSENVILLE

IN THE ADMINISTRATIVE ADJUDICATION COURT OF THE
VILLAGE OF BENSENVILLE
DUPAGE COUNTY, ILLINOIS - 60106

A MUNICIPALITY PLAINTIFF VS.

D E F E N D A N T	NAME BAIRAKTARIS, LEONIDAS K
	OWNER ADDRESS 6N068 Acacia Lane
	CITY Itasca STATE <u>IL</u> ZIP
	PHONE NO. _____ <u>60143</u>
	Location of Violation 1301 W Irving Park Rd. Bensenville Il.

THE UNDERSIGNED STATES THAT ON 9/12/2017 AT

THIS DEFENDANT DID UNLAWFULLY COMMIT THE FOLLOWING OFFENSE(S):

10-18-16: NONCONFORMING AND ABANDONED SIGNS1: ??

E. Abandonment OfConforming Signs: Any conforming sign which no longer advertises an activity, business, or use conducted or a product sold on the premises where said sign is located shall be deemed to be abandoned after a period of ninety (90) days, unless the sign face is replaced with either: 1) new words, symbols, or message display for a new activity, business, or use conducted or a product sold on the premises where said sign is located or 2) a weatherproof blank sign face. Abandoned, conformingsigns for which the sign face is not replaced as prescribed in this subsection shall be fully removed, including all components of the signand its support structure. (Ord. 50-2004, 7-19-2004)

Comment: Failure to remove sign(s) from 1301 W Irving park road.

IN VIOLATION OF VC - 10-18-16 E OF THE BENSENVILLE MUNICIPAL CODE

1,301.00 W IRVING PARK RD , Bensenville, IL, 60106

A P P E A R A N C E	ADMINISTRATIVE ADJUDICATION COURT LOCATED AT:
	THE VILLAGE OF BENSENVILLE
	2 ND FLOOR BOARD ROOM
	12 S. CENTER STREET, BENSENVILLE, IL 60106
	ON: 10-12-17
	AT: 2:00 P.M.
	<input checked="" type="checkbox"/> YOU MUST APPEAR IN COURT, IN PERSON, ON THE ABOVE DATE AND TIME

09/21/2017

Blank Finding, Decision And Order

Administrative Building Code

VILLAGE OF BENSENVILLE

VS

BAIRAKTARIS, LEONIDAS

LEONIDAS BAIRAKTARIS
6N068 ACACIA LN
ITASCA IL 60143

Docket #: **30328** Violation #: **1197** Violation Date : **09/12/2017**

Inspector : **128 - TOM KNIGHT**

Offense : **V256 - FAILURE TO REMOVE SIGNS**

Hearing Officer : **JOHN Z TOSCAS**

Hearing Date : **10/12/2017**

Violation Address : **1301 W IRVING PARK RD Bensenville IL 60106**

PIN# :

Rep Of Municipality: W. Belmonte Rep Of Defendant : _____

Decision : ☐ Code Violated ☐ Code Not Violated

☐ Non-Suit ☒ Continuance On 11/9/17

Decision Decided By : ☐ Admission ☐ Evidence

Finding Of Fact : ☐ In Favor of Respondent

☐ In Favor of Municipality

☐ Respondent defaulted for failure to appear. In favor of Municipality.

☐ Compliance - Pre Hearing

☐ Compliance - Post Hearing

Finding Exp : _____

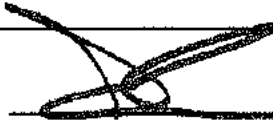
Order :

Fine Amount Abated Upon Compliance : ☐ YES ☐ NO

Fine Amount : _____ Compliance Date : _____

Case Closed Due To : ☐ Dismissal ☐ Compliance

Other Stipulation(s) : _____

Date : 10/12/17 Hearing Officer : 

11/03/2017

Blank Finding, Decision And Order

Administrative Building Code

VILLAGE OF BENSENVILLE

VS

BAIRAKTARIS, LEONIDAS

LEONIDAS BAIRAKTARIS
6N068 ACACIA LN
MEDINAH ILLINOIS 60157

Docket # : 30386

Violation # : 1197

Violation Date : 09/12/2017

Inspector : 128 - TOM KNIGHT

Offense : V256 - FAILURE TO REMOVE SIGNS

Hearing Officer : JOHN Z TOSCAS

Hearing Date : 11/09/2017

Violation Address : 1301 W IRVING PARK RD Bensenville IL 60106

PIN# :

Rep Of Municipality: W Belmonte Rep Of Defendant : _____

Decision : ☒ Code Violated ☐ Code Not Violated

☐ Non-Suit ☐ Continuance On _____

Decision Decided By : ☐ Admission ☒ Evidence

Finding Of Fact : ☐ In Favor of Respondent

☒ In Favor of Municipality

☐ Respondent defaulted for failure to appear. In favor of Municipality.

☐ Compliance - Pre Hearing

☐ Compliance - Post Hearing

Finding Exp : _____

Order :

Fine Amount Abated Upon Compliance : ☐ YES ☒ NO

Fine Amount : \$250 Compliance Date : _____

Case Closed Due To : ☐ Dismissal ☐ Compliance **COMPLIANCE WITHIN 30 DAY.**

Other Stipulation(s) : _____

Date : 11/09/17 Hearing Officer : [Signature]

**VILLAGE OF BENSENVILLE
NON-TRAFFIC COMPLAINT
AND NOTICE TO APPEAR**

CASE NO. VC-001,197.00

TICKET # 1197

STATE OF ILLINOIS COUNTY OF: COOK / DUPAGE

VILLAGE OF: BENSENVILLE

IN THE ADMINISTRATIVE ADJUDICATION COURT OF THE
VILLAGE OF BENSENVILLE
DUPAGE COUNTY, ILLINOIS - 60106

A MUNICIPALITY PLAINTIFF VS.

D E F E N D A N T	NAME BAIRAKTARIS, LEONIDAS K
	OWNER ADDRESS [REDACTED]
	CITY Itasca STATE IL ZIP
	PHONE NO. [REDACTED]
	Location of Violation 1301 W Irving Park Rd. Bensenville Il.

THE UNDERSIGNED STATES THAT ON 9/12/2017 AT
THIS DEFENDANT DID UNLAWFULLY COMMIT THE FOLLOWING OFFENSE(S):

10-18-16: NONCONFORMING AND ABANDONED SIGNS1: ??

E. Abandonment OfConforming Signs: Any conforming sign which no longer advertises an activity, business, or use conducted or a product sold on the premises where said sign is located shall be deemed to be abandoned after a period of ninety (90) days, unless the sign face is replaced with either: 1) new words, symbols, or message display for a new activity, business, or use conducted or a product sold on the premises where said sign is located or 2) a weatherproof blank sign face. Abandoned, conformingsigns for which the sign face is not replaced as prescribed in this subsection shall be fully removed, including all components of the signand its support structure. (Ord. 50-2004, 7-19-2004)

Comment: Failure to remove sign(s) from 1301 W Irving park road.

IN VIOLATION OF VC - 10-18-16 E OF THE BENSENVILLE MUNICIPAL CODE

1,301.00 W IRVING PARK RD , Bensenville, IL, 60106

A P P E A R A N C E	ADMINISTRATIVE ADJUDICATION COURT LOCATED AT:
	THE VILLAGE OF BENSENVILLE
	2 ND FLOOR BOARD ROOM
	12 S. CENTER STREET, BENSENVILLE, IL 60106
	ON: 10-12-17
	AT: 2:00 P.M.
<input checked="" type="checkbox"/> YOU MUST APPEAR IN COURT, IN PERSON, ON THE ABOVE DATE AND TIME	



12 S. Center St.
Bensenville IL 60086

Office 630.755.4200
Fax 630.594.1005

www.bensenville.il.us

VILLAGE BOARD

President
Frank DeSimone

Board of Trustees
Rosa Barrios
Ann Freer
Agneszka "Anne" Jaworska
M. L. Jones
Nicholas Pericola Jr.
Bernarda Perez

Village Clerk
Nancy Ham

Village Manager
Evan E. Summers

July 31, 2017

Mr. Leonidas Bairaktiaris



RE: 1301 West Irving Park Road

Dear Mr. Bairaktiaris:

I am writing to inform you of the Municipal Code requirement that mandates the removal of signage that no longer advertises an activity, business or use conducted on the property. Please accept this correspondence as notice to remove tall signage at the above-cited address no later than September 1, 2017. Failure to do so may result in the issuance of an Administrative Adjudication Citation and possible fines of up to \$750 per sign per day.

Additionally, please refer to my prior correspondence relating to the number of expired and still open building permits and the abandonment of the existing non-conforming use as a Service Station.

If you should have any questions, please feel free to contact me at 630.350.3411.

Sincerely,

Scott R. Viger A.I.C.P.
Director / Community &
Economic Development

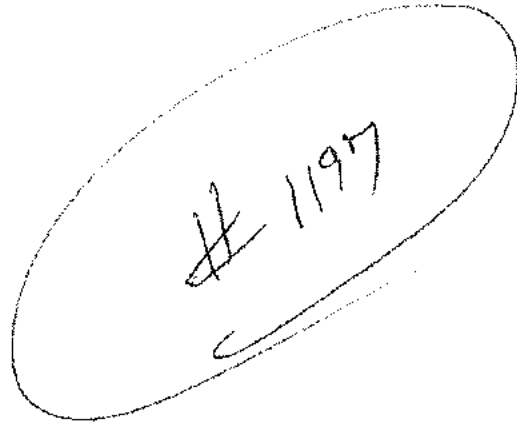
VC - 10-18-16-E

VC-010-18-16-E

V253

- NON CONFORMING SIGNS

~~NON~~
~~CON~~ 10-18-16
SIGNS



10-18-16: NONCONFORMING AND ABANDONED SIGNS¹:

Any sign lawfully existing prior to the enactment of this chapter, but which could not be erected in accordance with the provisions of this chapter, shall be deemed to be a nonconforming sign and may continue to be in existence under the following conditions:

- A. **Maintenance And Minor Repairs:** Maintenance and minor repairs shall be permitted, provided that the cost within any twelve (12) month period does not exceed fifty percent (50%) of its estimated replacement value, as determined by the zoning administrator. When a nonconforming wall sign is removed, the wall on which it was displayed shall be restored to its original surface at the time the nonconformities are eliminated.
- B. **Damage To Nonconforming Signs:** If a nonconforming sign is damaged in such a manner that the estimated expense of repairs exceeds fifty percent (50%) of its estimated replacement value, the sign shall not be allowed to remain and must be removed.
- C. **Alterations To Nonconforming Signs:** The only alteration to a nonconforming sign that shall be permitted is a change in the sign face, the words or symbols used or the message displayed, only to advertise an activity, business, or use conducted or a product sold on the premises where said sign is located, provided that the sign is not abandoned as described in subsection D of this section. Any other alteration or change will be to bring the nonconforming sign into conformance with the provisions of this chapter.
- D. **Abandonment Of Nonconforming Signs:** Any nonconforming sign which no longer advertises an activity, business, or use conducted or a product sold on the premises where said sign is located shall be deemed to be abandoned after a period of ninety (90) days, unless the sign face is replaced in accordance with subsection C of this section within this ninety (90) day time period. All abandoned signs shall be removed and/or brought into full conformance with the provisions of this chapter.
- E. **Abandonment Of Conforming Signs:** Any conforming sign which no longer advertises an activity, business, or use conducted or a product sold on the premises where said sign is located shall be deemed to be abandoned after a period of ninety (90) days, unless the sign face is replaced with either: 1) new words, symbols, or message display for a new activity, business, or use conducted or a product sold on the premises where said sign is located or 2) a weatherproof blank sign face. Abandoned, conforming signs for which the sign face is not replaced as prescribed in this subsection shall be fully removed, including all components of the sign and its support structure. (Ord. 50-2004, 7-19-2004)

**VILLAGE OF BENSENVILLE
NON-TRAFFIC COMPLAINT
AND NOTICE TO APPEAR**

CASE NO. VC-001.197.00 TICKET # 1197

STATE OF ILLINOIS COUNTY OF: COOK / DUPAGE

VILLAGE OF: BENSENVILLE

IN THE ADMINISTRATIVE ADJUDICATION COURT OF THE
VILLAGE OF BENSENVILLE
DUPAGE COUNTY, ILLINOIS - 60106

A MUNICIPALITY PLAINTIFF VS.

D E F E N D A N T	NAME BAIRAKTARIS, LEONIDAS K
	OWNER ADDRESS [REDACTED]
	CITY Medinah STATE IL ZIP
	PHONE NO. [REDACTED]
	Location of Violation 1,301.00 W IRVING PARK RD , Bensenville, IL, 60106

THE UNDERSIGNED STATES THAT ON 9/12/2017 AT
THIS DEFENDANT DID UNLAWFULLY COMMIT THE FOLLOWING OFFENSE(S):

10-18-16: NONCONFORMING AND ABANDONED SIGNS1: ??

E. Abandonment OfConforming Signs: Any conforming sign which no longer advertises an activity, business, or use conducted or a product sold on the premises where said sign is located shall be deemed to be abandoned after a period of ninety (90) days, unless the sign face is replaced with either:1) new words, symbols, or message display for a new activity, business, or use conducted or a product sold on the premises where said sign is located or 2) a weatherproof blank sign face. Abandoned, conformingsigns for which the sign face is not replaced as prescribed in this subsection shall be fully removed, including all components of the signand its support structure. (Ord. 50-2004, 7-19-2004)

Comment: Failure to remove sign(s) from 1301 W Irving park road.

IN VIOLATION OF VC - 10-18-16 E OF THE BENSENVILLE MUNICIPAL CODE

1,301.00 W IRVING PARK RD , Bensenville, IL, 60106

A P P E A R A N C E	ADMINISTRATIVE ADJUDICATION COURT LOCATED AT:
	THE VILLAGE OF BENSENVILLE
	2 ND FLOOR BOARD ROOM
	12 S. CENTER STREET, BENSENVILLE, IL 60106
	ON: 10-12-17
	AT: 2:00 P.M.
<input checked="" type="checkbox"/> YOU MUST APPEAR IN COURT, IN PERSON, ON THE ABOVE DATE AND TIME	

FAILURE TO APPEAR MAY RESULT IN A DEFAULT JUDGMENT AGAINST YOU, INCLUDING A FINE IN THE AMOUNT SET FORTH IN THE VILLAGE CODE, IN ACCORDANCE WITH ORDINANCE NUMBER 182011, UP TO \$750.00 FOR EACH DAY THE OFFENSE REMAINS IN VIOLATION OF THE VILLAGE CODE, ALONG WITH COURT COSTS, AND YOU WILL FURTHER BE REQUIRED TO BRING THE PROPERTY INTO FULL COMPLIANCE WITH THE VILLAGE CODE WITHIN 30 DAYS OF JUDGMENT.

IN ACCORDANCE WITH VILLAGE OF BENSENVILLE ORDINANCE 18-2011, AS APPROVED ON FEBRUARY 8, 2011, AND AS AMENDED FROM TIME TO TIME THE DEFENDANT MAY BE RESPONSIBLE FOR FINES UP TO \$750.00 FOR EACH DAY THE OFFENSE REMAINS IN VIOLATION OF VILLAGE ORDINANCE.

UNDER PENALTIES AS PROVIDED BY LAW FOR FALSE CERTIFICATION PURSUANT TO SECTION 1109 OF THE CODE OF CIVIL PROCEDURE, THE UNDERSIGNED CERTIFIES THAT THE STATEMENTS SET FORTH IN THIS COMPLAINT ARE TRUE AND CORRECT.

SIGNED AND SWORN BEFORE ME:

SIGNATURE _____
INSPECTOR

FOR ANY GENERAL QUESTIONS REGARDING THIS NOTICE, PLEASE CALL 630.350.3413

COMMUNITY DEVELOPMENT COMMISSION**Village of Bensenville****VILLAGE HALL****November 6, 2018 6:30 PM**

- I. Call Meeting to Order
- II. Roll Call and Quorum
- III. Pledge of Allegiance
- IV. Public Comment
- V. Approval of Minutes

October 2, 2018 Community Development Commission Minutes

October 30, 2018 Special Community Development Commission Minutes

VI. Action Items:

- 1. Consideration of a Conditional Use Permit to allow a Service Station at 1301 W. Irving Park Rd.
- 2. Consideration of a Conditional Use Permit to allow a Gunsmith shops at 1180 Industrial Drive.
- 3. Consideration of Variances to allow Signage at 292 Devon Avenue.
- 4. Consideration of a Conditional Use Permit to allow a Dog Training Facility at 800-804 W. South Thorndale Ave.

VII. Report from Community and Economic Development

VIII. Adjournment

Any individual with a disability requiring a reasonable accommodation in order to participate in a Community Development Commission Meeting should contact the Village Clerk, Village of Bensenville, 12 S. Center Street, Bensenville, Illinois, 60106 (630-350-3404)

TYPE:

Public Hearing

SUBMITTED BY:

Kurtis R. Pozsgay

DEPARTMENT:

CED

DATE:

11.06.18

DESCRIPTION:Consideration of a Conditional Use Permit to allow a Service Station at 1301 W. Irving Park Rd.**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:****SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**
☐
☐
☐

Financially Sound Village
 Quality Customer Oriented Services
 Safe and Beautiful Village

☐
☐
☒

Enrich the lives of Residents
 Major Business/Corporate Center
 Vibrant Major Corridors

REQUEST:

Conditional Use Permit, Service Station,
 Municipal Code Section 10 – 7B – 3.

SUMMARY:

1. The Petitioner is applying for a Conditional Use Permit to operate a fueling station at the long vacant property at the northwest corner of Irving Park Road and Spruce Avenue.
2. The station will be rebranded as an Exxon with Quick Mart. Although not part of the original request, it appears they will need a stacking variance, as they don't meet the required two vehicle stacking positions per fueling pump.
3. They were also required to submit building plans, as much of that work had been done with a proper approval.
4. The plans you see are mostly already completed. Also of note, the State fire marshal required the property owner to remove existing underground tanks. There are currently no tanks, but the owner says he has new tanks ready to install should the project move forward.

RECOMMENDATION:

Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Conditional Use for Lincolnwood Gas & Food, Inc. If the CDC recommends approval staff suggests as a minimum the following conditions with the following conditions:

1. The Conditional Use Permit be granted solely to the Lincolnwood Gas & Food and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
2. New building permits are required to deal with 5 outstanding permits and all future permits;
3. All work will have to meet current Code requirements;
4. The Site Plan must be revised to include the closer of the curbscots closest to the intersection and the sidewalk must be completed on the Spruce Avenue frontage;
5. Site must be redesigned to eliminate the need for the stacking variation;
6. Monument sign must include 3 feet of landscaping around the base;
7. No liquor license;
8. No video gaming;
9. Building and column/canopy upgrades required.

ATTACHMENTS:

Description	Upload Date	Type
<u>Legal Notice</u>	10/31/2018	Backup Material
<u>Aerial & Zoning Maps</u>	10/31/2018	Backup Material
<u>Application</u>	10/31/2018	Backup Material
<u>Project Narrative</u>	10/31/2018	Backup Material
<u>Staff Report</u>	10/31/2018	Executive Summary
<u>Building Plans</u>	10/31/2018	Backup Material
<u>Signage</u>	10/31/2018	Backup Material
<u>Stacking Exhibit</u>	10/31/2018	Backup Material
<u>Plat of Survey</u>	10/31/2018	Backup Material

**LEGAL NOTICE/PUBLIC NOTICE
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Tuesday, November 6, 2018 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2018 – 12 to consider a request for:

Conditional Use Permit, Service Station,
Municipal Code Section 10 – 7B – 3.

1301 West Irving Park Road is in a C – 2 Highway Commercial district. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOTS 3, 4, 5, 6, AND 7 IN BLOCK 40 IN THE FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, BEING A SUBDIVISION IN SECTIONS 10, 11, 14, AND 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926, AS DOCUMENT 213044, EXCEPT THAT PART OF LOT 3 TAKEN FOR ROADWAY PURPOSES BY THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION AS SHOWN AS PARCEL 0026 ON PLAT RECORDED MARCH 19, 1985, AS DOCUMENT R85-18882, AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 3: THENCE NORTH 86 DEGREES 23 MINUTES 55 SECONDS WEST ALONG THE SOUTH LINE OF LOT 3, A DISTANCE OF 10.00 FEET; THENCE NORTH 46 DEGREES 43 MINUTES 13 SECONDS EAST, 14.17 FEET TO THE EAST LINE OF LOT 3; THENCE SOUTH 01 DEGREE 50 MINUTES 22 SECONDS WEST ALONG THE EAST LINE OF LOT 3, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

ADDRESS: 1301 W IRVING PARK ROAD, BENSENVILLE, ILLINOIS.

Leonidas Bairaktaris of 6N068 Acacia Ln., Medinah 60157 and Kyriakos Giannoudakos of 420 Sunnyside Ave, Itasca, IL 60143 are the owners and Lincolnwood Gas & Food, Inc of 6559 N. Lincoln Ave, Lincolnwood, IL 60712 the applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through August 7, 2018 until 5:00 P.M.

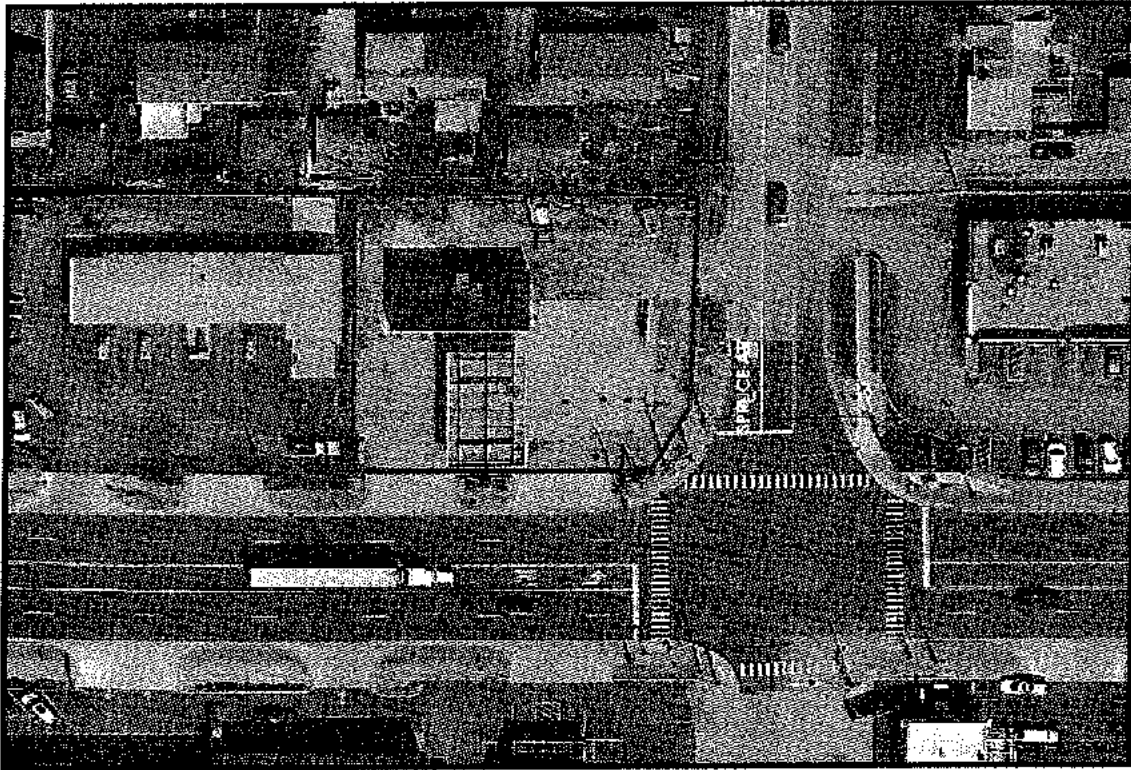
Office of the Village Clerk
Village of Bensenville

TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT

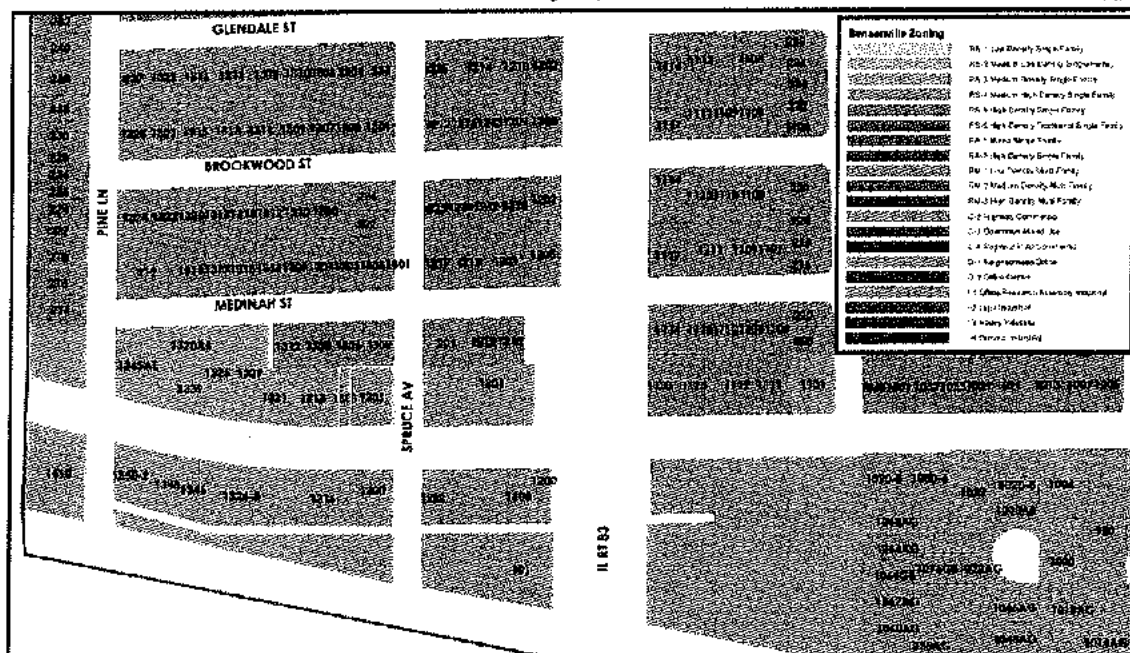
October 18, 2018

1301 W Irving Park Road
Lincolnwood Gas & Food, Inc.
Conditional Use Permit; Fueling Station

1301 W Irving Park Rd



Zoning Map





Address: 1234 L-IN FIVE - (P) - ... - B - ... - 1234

Property Index Number(s) (PIN): 00 16 2:2 2 6 tB 0..3 15, Z:2-2, 01

CDE0N1D.t: BALA_rAel6 f^{cl}Y121.A:qS 4tA-NNot./L2A-::;a\$

Name	Corporation (if applicable)
U) OGe	Ac.H.I.A.
IN	&d.:7 @4zoSu<.IN ySb6Aut!!i...z
	&g<β

Street

City

State

Zip Code

)(.....
Contact Person

Telephone Number & Email Address

If Owner is a Land Trust, list the names and addresses of the beneficiaries of the Trust.

Property Owner Signature: Merced L. Ramirez Date: 7

LPOL:LPOL?aaLP2 f.GS=4 LA

Name _____

Corporation (if applicable)

0551 *Ai* LIFE

Street

Redmond

Civ

State

Zip Code

45 F 111

Telephone Number & Email Address

TENANT

Relationship of Applicant to subject property

Applicant Signature: X [Signature] Date: X 08-01-11

☐ Annexation

- ☐ Master Sign Plan
- ☐ Planned Unit Development**
- ☐ Plat of Subdivision
- ☐ Rezoning (Map Amendment)
- ☐ Site Plan Review
- ☐ Variance

*Item located within this application packet.

SUBMITTAL REQUIREMENTS (1 original & 1 copy of each):

- ☐ Affidavit of Ownership* (signed/notarized)
- ☐ Application•
- ☐ Approval Criteria
- ☐ Legal Description of Property
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Review Fee (Application Fee + Escrow)
- ☐ Escrow agreement and deposit*
- ☐ Digital Submission of full application materials (CD)

Brief Description of Request(s): (submit separate sheet if necessary)

Conditional Use Permit, to continue using the existing Gas Station located at 1301 W. Irving Pk. Rd.

as a Gas Station (#03-15-222-013 & 03-15-222-019)

D. PROJECT DATA:

1. General description of the site: Existing corner gas station located in C-2 district
2. Acreage of the site: 39 Acres Building Size (if applicable): 1421 SF Gross
3. Is this property within the Village limits? (Check applicable below)
☒ X Yes
☐ No, requesting annexation
☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)
None
5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:	C-2	Gas Station C-Store	Village of Bensenville
North:	RS-5	SFH	Village of Bensenville
South:	C-2	Auto Body/ Repair Shop	Village of Bensenville
East:	C-2	Car Wash	Village of Bensenville
West:	C-2	Retail	Village of Bensenville

E. DEVELOPER'S STAFF (if applicable):

ARCHITECT

Name: N/A

Telephone: _____

Email: _____

ENGINEER:

Name: N/A

Telephone: _____

Email: _____

ATTORNEY

Name: N/A

Telephone: _____

Email: _____

OTHER Woods Design Group, Construction Manager

Name: Art Woods

Telephone: 630-886-5163

Email: artwoods@woodsdcg.com

F. APPROVAL CRITERIA:

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The COC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."

WOODS DESIGN GROUP, as Construction Managers for

Client: (Tenant/Lessee) Lincolnwood Gas & Food, Inc

Municipal Code section 10-3-4:C Approval Criteria for Conditional Use Permit

Project Address: 1301 W. Irving Pl. Rd., Bensenville Illinois

- 1) Traffic Impact: the area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.
- 2) Environmental Nuisance: The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.
- 3) Neighborhood Character: The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sits bordered by similar commercial uses and has been in existence since 1956.
- 4) Use of Public services and facilities: The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.
- 5) Public Necessity: The proposed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.
- 6) Other Factors: In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center, I would contend that it fits in well with its neighbors.
- 7) History/Comment: If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

STATE OF ILLINOIS

)
)SS.
)

COUNTY OF DUPAGE AND COOK

AFFIDAVIT OF OWNERSHIP

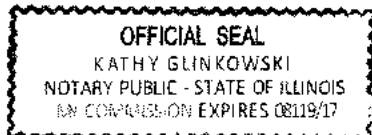
I 14:06 JIPJI't-S •'B>A(ZAKTAi:'..AS the undersigned Affiant, being first duly sworn,
on oath states:

1. That Affiant has personal knowledge of the representations and statements made herein, and has examined all necessary documents, records of ownership and such other information as is required to confirm the statements and representations herein;
2. That the owner(s) and contract purchaser(s), if any, as set forth on the Petition attached hereto is (are) the owner(s) of record and contract purchasers of said property;
3. That all consents to the attached Petition required of lenders or of others holding an interest in the property have been obtained;
4. This Affidavit of Ownership is given to induce the Village of Bensenville, without further inquiry as to ownership or purchase interest, to rely on said statements and representations and to process and set for Public Hearing the Petition as attached hereto; and,
5. Affiant is aware of and has been advised that any false statement set forth in this Affidavit of Ownership may subject Affiant to criminal sanctions for perjury, punishable as provided by the statutes of the State of Illinois in relation to the crime of perjury.

IN WIT SS WHEREO the undersigned has executed this Affidavit of Ownership
this day of "f;J'd: '2-u1 /

CU OU CA +i, IU/2
signature

SUBSCRIBED and SWORN to
before me this 3 day of August 2017
[Signature]
Notary Public



Village of Bensenville Conditional Use Permit

EXHIBIT "A"

1301 W. Irving Pk. Rd., Bensenville Illinois

Legal Description

Lots 3, 4, 5, 6 and 7 in Block 40 in the first addition to Percy Wilson's Irving Park Manor, being a subdivision in Sections 10, 11, 14, and 15, Township 40 North, Range 11, East of the Third Principal Meridian, according to the plat thereof recorded May 7, 1926 as Document 11213044, except that part of Lot 3 taken for Roadway purposes by Document R85-18882, in DuPage County, Illinois

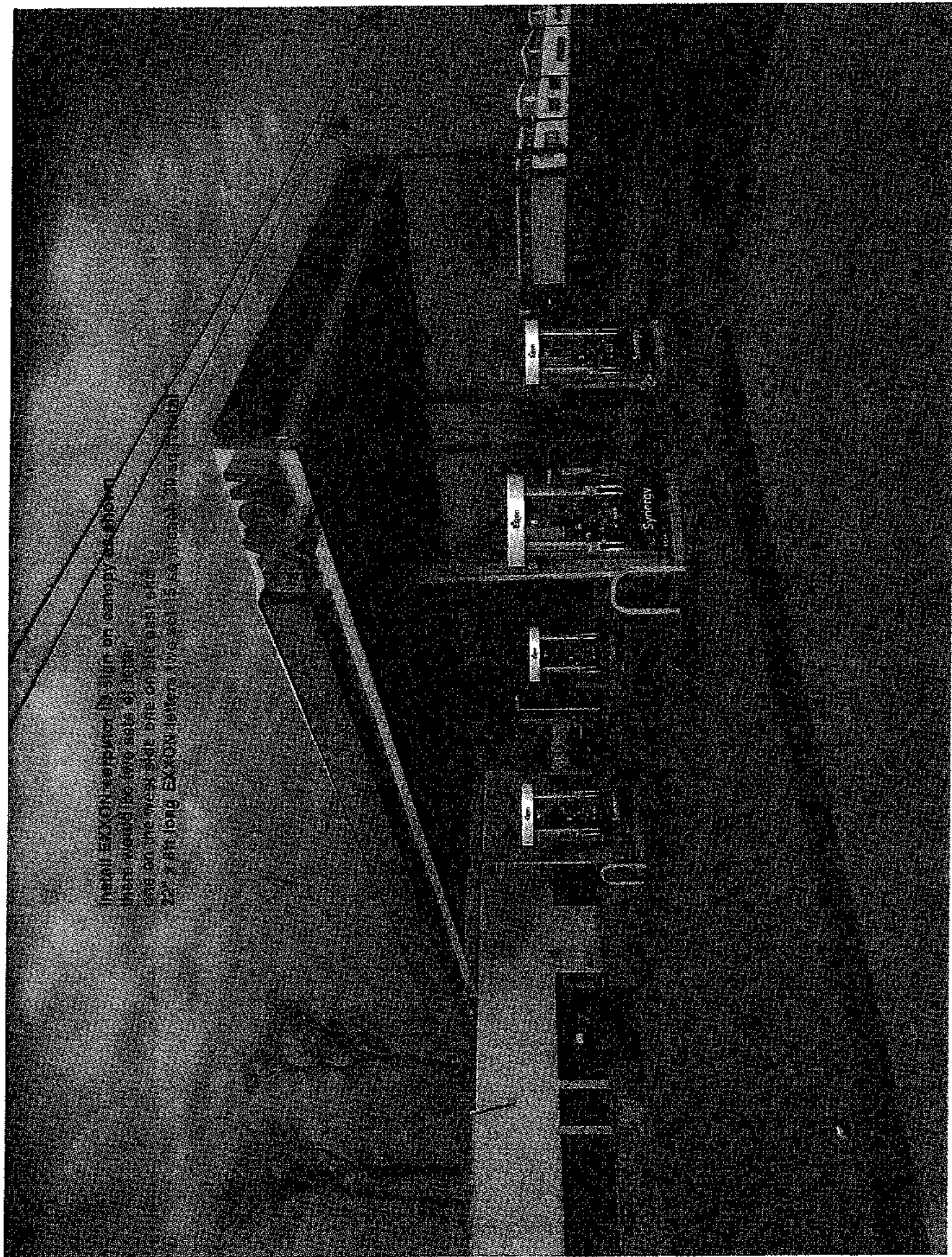
PIN : 03-15-222-013 & 03-15-222-019

Address: 1301 W. Irving Park Rd. Bensenville, IL

60106

106

Install EXXON separator sign on canopy as shown
there would be two sets of letter
one on the west side one on the east side
22' x 8 1/2' long EXXON letters five sets as shown 30 sq ft total



**Project Narrative
1301 W. Irving Park Road**

INTRODUCTION

Lincolnwood Gas & Foods, Inc. ("LG&F") is requesting to reestablish their gas station at the corner of Irving Pk. Rd. and Spruce Ave. in Bensenville, including completion of the remodeling of the existing building, and includes rebranding the station to an Exxon station with Quick Mart.

Remodel of an approximately 1,500 square foot convenience store, eight car (8) parking stalls, six (6) multi-product fueling dispensers (this provides for twelve (10) automobile fueling positions)

This remodel will transform the underutilized repair station into a first class, updated fueling center. The Exxon Quick Mart, with both food and fueling components will serve the residents as well as a very active transient day time population.

The Quick Mart will give significant benefits to the immediate neighborhood as well as serving the west bound traffic on Irving park Rd. and that traffic exiting route 83 to Spruce Ave. In addition, this facility will create 2-4 new jobs in the community these will typically be people living within 5-7 blocks of the station.

The reestablishment and rejuvenation of the property will provide much needed amenities to the growing residential area and to more than 5,800 vehicles exiting Rout 83 on Spruce Ave. along with 18,800 daily vehicles on Irving Park Road.

The Quick Mart store will offer a variety of both replenishable & consumables from food to toiletry options, hot and cold beverages, and other convenience goods consisting of more than 900 items or SKU's.

MARKET OVERVIEW

LG&F targeted customers are (a) the residents with in one-mile radius, this group will visit the station on a regular basis 1-3 times a week as it will be the most convenient place to buy consumables. (b) residents within 1-2 mile radius this group in general will visit one time per month, and finally (c) the transient group is the day time traffic of 5,800 coming from Rout 83 off of Spruce Ave. past our store, and the west bound traffic on Irving Pk. Rd. 18,800 of this we will get a percentage of the traffic as our daytime customer.

According to the leading industrial real estate brokers in the O'Hare industrial office/warehouse submarket (bounded by I-294 on the east, I-290 on the south, I-355/Route 53 on the west, and Touhy Avenue on the north) has nearly 100,000,000 square feet of industrial flex space and represents the largest contiguous industrial park in the United States.

Despite the development of new fueling stations in the Bensenville area, the expansion of the industrial park and the extension of the Elgin-O'Hare expressway continues to drive consumer demand for a quick convenient "Quick Mart" Fueling Station for daily commuters as well as the increasing local population needed to keep it all working.

PROJECT OVERVIEW

Since the site is located along two of the busiest travel routes in the Bensenville, Elk Grove Village and Wood Dale area, the Quick Mart will provide eight fast flow standard fueling lanes and two fast flow diesel lanes for cars and small trucks.

LG&F is also looking into setting up quick charge refueling for electric cars, we believe that this is the wave of the future for the daily local commuter and we would like to lead the way. Looking at the expanding market of electric cars and light truck we believe that it just a matter of time before they become main stream.

MARKET ANALYSIS

The reestablishment of this station along with the new and improved Quick Mart will serve the greater Bensenville O'Hare area for the next fifty years as it has for the past 60 years.

This location has long served as a combination auto repair/fueling station and most recently changed from auto repair to quick Mart fueling station given the many changes in both car technology and traffic demands this change was long overdue. It is because of our long history and willingness to expand and improve we humbly request that you approve our request for a special use permit to reestablish our business and continue our long history of serving the greater Bensenville area.

LG&F has projected sales of both Gas and convenient store sale see chart below. This at 1% sales tax would net +/- \$7,500.00 a year to the Village along with increased EAV with improved site. This is a win for everyone.

	Month												TOTAL
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	
Gallons sold	75,000	73,000	76,000	78,000	75,000	80,000	85,000	88,000	84,000	83,000	82,000	81,000	960,000
STORE SALES	50,000	50,000	55,000	60,000	60,000	63,000	70,000	72,000	70,000	68,000	66,000	60,000	744,000



BENSENVILLE
COMMUNITY DEVELOPMENT COMMISSION

STAFF REPORT

HEARING DATE: November 6, 2018
CASE #: 2018 – 12
PROPERTY: 1301 W Irving Park Rd
PROPERTY OWNER: Leonidas Bairaktaris and Kyriakos Giannoudakos
APPLICANT: Lincolnwood Gas & Food, Inc
SITE SIZE: 16,918 SF
BUILDING SIZE: 1,435 SF
PIN NUMBERS: 03-15-222-013; -019
ZONING: C – 2 Highway Commercial District
REQUEST: Conditional Use Permit, Service Station,
Municipal Code Section 10 – 7B – 3.

PUBLIC NOTICE:

1. A Legal Notice was published in the Bensenville Independent on Thursday October 18, 2018. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Friday October 19, 2018.
3. On Friday October 19, 2018, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

SUMMARY:

The Petitioner is applying for a Conditional Use Permit to operate a fueling station at the long vacant property at the northwest corner of Irving Park Road and Spruce Avenue. The station will be rebranded as an Exxon with Quick Mart. Although not part of the original request, it appears they will need a stacking variance, as they don't meet the required two vehicle stacking positions per fueling pump. They were also required to submit building plans, as much of that work had been done with a proper approval. The plans you see are mostly already completed. Also of note, the State fire marshal required the property owner to remove existing underground tanks. There are currently no tanks, but the owner says he has new tanks ready to install should the project move forward.

SURROUNDING LAND USES:

	Zoning	Land Use	Comprehensive Plan	Jurisdiction
Site	C – 2	Vacant Commercial	Local Commercial	Village of Bensenville
North	RS – 5	Residential	Single Family Residential	Village of Bensenville
South	C – 2	Commercial	Local Commercial	Village of Bensenville
West	C – 2	Commercial	Local Commercial	Village of Bensenville
East	C – 2	Commercial	Local Commercial	Village of Bensenville

DEPARTMENT COMMENTS:***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

- ☐ Financially Sound Village
- ☐ Quality Customer Oriented Services
- ☐ Safe and Beautiful Village
- ☐ Enrich the lives of Residents
- ☐ Major Business/Corporate Center
- ☒ Vibrant Major Corridors

Finance:

Account is paid up to date.

Police:

No police issues.

Engineering and Public Works:

No comments.

Community & Economic Development:**Economic Development:**

- 1) Supportive of this conditional use permit for a fueling station use.
- 2) The site is already built out as a gas station, and as such will require minimal construction or rehabilitation.
- 3) The fueling station will create a number of jobs for community residents, as well as generate sales tax for the Village.

Fire Safety:

No comments at this time.

Building:

- 1) The site has five issued permits, dating back to 2014, that have not been completed.
 - a. #4009 Interior demolition applied for 1/2014
 - b. #4313 Building alteration applied for 6/2014
 - c. #4842 Exterior improvements applied for 1/2015
 - d. #4928 Signage applied for 3/2015
 - e. #7884 Tank removal applied for 2/2018
- 2) New building permits would be required and since none of the old permitted work was finalized, all work will have to meet current code requirements.

- 3) An Office of the State Fire Marshal (OSFM) permit will be required for the installation of the new tanks.

Planning:

- 1) The 2015 Comprehensive Plan indicates "Local Commercial" for this property.
- 2) There was a prior gas station on the property. It closed in 2014.
- 3) Since this station closed, there have been 5 fueling stations approved by Village Board:
- 4) There are 13 fueling stations in the Village currently, with one more approved recently.

ADDRESS	BUS NAME
1285 NORTH ELLIS STREET	ROAD READY
1156 SOUTH YORK ROAD	7- ELEVEN/ EXXON
550 NORTH IL RT 83 ROAD	B P CONNECT (BP PRODUCTS NORTH AMERICA)
600 NORTH IL RT 83 ROAD	BENSENVILLE SHELL
1225 WEST DEVON AVENUE	CITGO
600 WEST IRVING PARK ROAD	BP
647 SOUTH YORK ROAD	SUNNY PETROLEUM, INC. (MARATHON)
550 ILLINOIS ROUTE 83	BP/SUBWAY
601 NORTH IL RT 83 ROAD	THORNTONS INC, #314
1120 WEST IRVING PARK ROAD	SPEEDWAY #7412
101 WEST IRVING PARK ROAD	AMOCO
801 NORTH IL RT 83 ROAD	BRYN MAWR CITGO
1050 NORTH IL RT 83 ROAD	PILOT TRAVEL CENTER LLC
720 EAST GREEN STREET	AMERIFREIGHT*

- 5) Applicant is proposing 10 auto-fueling positions: eight regular fuel and two diesel.
- 6) Applicant submitted a stacking exhibit, which doesn't show the required two stacking spots per fueling station. A variance for stacking requirements was not applied for.
- 7) The applicant is interested in installing electric vehicle charging stations.
- 8) From Village Code: The Village Board may require a traffic study to verify that the placement and spacing of curb cuts will not result in traffic conflicts with pedestrians and other motorists.
- 9) A full traffic study was not submitted.
- 10) Staff may want to close a curbcut.
- 11) The Spruce Avenue frontage does not have a sidewalk. Where the Site Plan has striping we should seek the removal of the pavement and have green space reintroduced to the Site.
- 12) The applicant submitted a project narrative with market overview.
 - a. They anticipate 960,000 gallons sold a year.
 - b. They anticipate the convenience store selling a total of \$744,000 a year.
- 13) The monument sign must include landscaping around the base.
- 14) The building and canopy are not built to the same standards as other recent approvals, including masonry on building and canopy columns.
- 15) Changes to the columns to include masonry and upgrades to the building should be considered.
- 16) Without the tanks in ground, is it possible to relocate/redesign pump islands to mitigate stacking variation?
- 17) Staff does not recommend a liquor license or video gaming to be allowed.

APPROVAL CRITERIA FOR CONDITIONAL USES:

The Community Development Commission shall not recommend approval of the Conditional Use Permit without determining that the request meets the following approval criteria and making certain findings of fact. The Applicant has provided the following Findings of Fact:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: The area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sites bordered by similar commercial uses and has been in existence since 1956.

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The prosed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center. I would contend that it fits in well with its neighbors.

Additional History/Comment from Applicant:

If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

Staff Response to Approval Criteria:

It is stated repeatedly, and incorrectly, that the existing use will remain. The site is currently vacant with no use. While a past use was a fueling station, it is not correct to say that the existing site function and use as a gas station is not changing. The site is not an existing gas station.

Conditional Use Approval Criteria	Meets Criteria	
	Yes	No
1. Traffic		X
2. Environmental Nuisance	X	
3. Neighborhood Character	X	
4. Public Services and Facilities	X	
5. Public Necessity		X
6. Other Factors	X	

RECOMMENDATIONS:

Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Conditional Use for Lincolnwood Gas & Food, Inc. If the CDC recommends approval staff suggests as a minimum the following conditions with the following conditions:

1. The Conditional Use Permit be granted solely to the Lincolnwood Gas & Food and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
2. New building permits are required to deal with 5 outstanding permits and all future permits;
3. All work will have to meet current Code requirements;

4. The Site Plan must be revised to include the closer of the curbs closest to the intersection and the sidewalk must be completed on the Spruce Avenue frontage;
5. Site must be redesigned to eliminate the need for the stacking variation;
6. Monument sign must include 3 feet of landscaping around the base;
7. No liquor license;
8. No video gaming;
9. Building and column/canopy upgrades required.

Respectfully Submitted,
Department of Community
& Economic Development

Village Board

Village President
Frank DeSimone

Trustees
Rosa Carmona
Ann Franz
Agnieszka "Annie" Jaworska
McLane Lomax
Nicholas Panicola Jr.
Armando Perez

Village Clerk
Nancy Quinn

Village Manager
Evan K. Summers



BENSENVILLE
GATEWAY TO OPPORTUNITY

Village of Bensenville, Illinois
VILLAGE BOARD
BOARD OF TRUSTEES MEETING
AGENDA
6:30 PM November 13, 2018

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. PUBLIC HEARING/PRESENTATION
 1. Public Hearing 2019 Annual Budget
- V. PUBLIC COMMENT (3 minutes per person with a 30 minute meeting limitation)
- VI. APPROVAL OF MINUTES
 1. October 23, 2018 Village Board Meeting Minutes
- VII. WARRANT
 1. Warrant report 11-13-18 18/20 \$3,868,353.77
- VIII. **CONSENT AGENDA – CONSIDERATION OF AN “OMNIBUS VOTE”**
- IX. **REPORTS OF VILLAGE DEPARTMENTS**
 - A. Administration
 1. Resolution Authorizing the Adoption of the Updated 2018 Emergency Operations Plan for the Village of Bensenville
 - B. Community and Economic Development
 1. Ordinance Approving a Conditional Use Permit to allow a Dog Training Facility at 800-804 W. South Thorndale Avenue, Bensenville
 2. Ordinance Approving an Amendment to Conditional Use Permit for Thorntons, Inc., located at 601 N.JL Route 83, Bensenville
 3. Ordinance Approving Variances to allow Signage at 292 Devon Avenue, Bensenville

4. Ordinance Denying a Conditional Use Permit to allow a Service Station at 1301 W. Irving Park Road, Bensenville
5. Consideration of a New Bensenville Zoning Ordinance

C. Finance

1. Ordinance Adopting the Annual Budget for the Village of Bensenville for the Fiscal Year Commencing January 1, 2019 and Ending December 31, 2019
2. Ordinance Adopting the 2018 Tax Levy for the Village of Bensenville, DuPage and Cook Counties, for the Fiscal Year Beginning January 1, 2018 and Ending December 31, 2018
3. Resolution Approving Worker's Compensation Insurance Coverage with Illinois Public Risk Fund
4. Resolution Approving the Liability Insurance Coverage with Travelers Insurance Company for the Village of Bensenville
5. Resolution TIC Financial Services as a Voluntary Employee Life Insurance Service Provider for the Village of Bensenville

D. Police Department

1. Ordinance of the Village of Bensenville, DuPage and Cook Counties, Illinois Authorizing a Police Chief Employment Agreement with Dan Schulze

E. Public Works

1. Resolution Authorizing Payment to Sean McGrath (dba J&S Plumbing, Inc.) of Elk Grove Village, Illinois for the Emergency Repair of a Sanitary Sewer at 170 S. Addison Street in the Not-to-Exceed amount of \$14,600
2. Resolution Authorizing the Execution of a Contract with Morton Salt, Inc. for the Purchase of 600 Tons of Bulk Rock Salt in the Not-to-Exceed Amount of \$27,990
3. Resolution Authorizing the Execution of a Year One (1) of a Four (4) Year Contract with Winkler's Tree Service Inc. for 2019 Parkway Tree Pruning Program in the Not-to-Exceed Amount of \$44,710
4. Resolution Authorizing the Execution of year two (2) of a two (2) year contract with Steve Piper and Son's Inc. for the 2019 Parkway Tree Removal and Stump Grinding Program in the not-to-exceed amount of \$20,000
5. Resolution Authorizing the Execution of a Contract with Addlawn Landscaping, Inc. for Lawn Maintenance Services in the Not-to-Exceed Amount of \$73,000
6. Resolution Authorizing the Execution of a "GIS Consortium Service Provider Contract" with Municipal GIS Partners, Inc. (MGP) for the 2019 Calendar Year in the Not-to-Exceed Amount of \$81,489
7. Resolution Authorizing Year One (1) of a Two (2) Year Contract with Clarke Environmental Mosquito Management, Inc. for Mosquito Abatement Services in the Not-to-Exceed Amount of \$36,035
8. Resolution Authorizing the Approval of a Purchase Order to Cartegraph Systems Inc. for year one (1) of a three (3) year Purchase Agreement for the Annual Maintenance of the Work Management System in the Not-to-Exceed Amount of \$35,804.16
9. Resolution Authorizing the Execution of a Contract Extension with Stewart Spreading Inc. for Sludge Hauling and Land Application in the Not-to-Exceed Amount of \$125,000

10. Resolution Authorizing the Execution of a Contract with Sean Milnes (dba CTS Services, LLC) for the Senior / Disabled Snow Removal Program
11. Resolution Authorizing the Execution of a Contract with Tomas Herrera Landscaping for the Senior / Disabled Snow Removal Program
12. Resolution Approving an Acquisition of the Necessary Right of Way, Permanent and/or Temporary Easements from SCP 2003D-19, LLC of 700 W Irving Park Rd (PIN 03-14-119-012) in the Not-to-Exceed Amount of \$72,500.00 Related to the Church Rd TAP-TCM Project
13. Resolution Authorizing the Sole Source Purchase of Tideflex Mixing System (TMS) to be Installed at the Belmont Ave Water Tower in the Not-to-Exceed Amount of \$28,084.00
14. Resolution Waiving Competitive Bidding and Awarding a Contract to Jetco, LTD for Installation of the Tideflex Mixing System (TMS) at the Belmont Ave Water Tower in the Not-to-Exceed Amount of \$29,470.00
15. Ordinance Designating Certain Property as Surplus and Authorizing the Disposal

F. Recreation – No Report

X. **REPORTS OF VILLAGE OFFICERS:**

A. PRESIDENT'S REMARKS:

B. VILLAGE MANAGER'S REPORT:

1. Information Regarding the Canadian Pacific Holiday Food Train Coming to the Village of Bensenville on December 6, 2018 at 4:30pm

C. VILLAGE ATTORNEY'S REPORT:

XI. UNFINISHED BUSINESS

XII. NEW BUSINESS

XIII. EXECUTIVE SESSION

- A. Review of Executive Session Minutes [5 ILCS 120/2 (C) (21)]
- B. Personnel [5 ILCS 120/2 (C) (1)]
- C. Collective Bargaining [5 ILCS 120/2 (C) (2)]
- D. Property Acquisition [5 ILCS 120/2 (C) (5)]
- E. Litigation [5 ILCS 120/2 (C) (11)]

XIV. MATTERS REFERRED FROM EXECUTIVE SESSION

XV. ADJOURNMENT

TYPE:
Ordinance

SUBMITTED BY:
Kurtis R. Pozsgay

DEPARTMENT:
CED

DATE:
11.13.18

DESCRIPTION:

Ordinance Denying a Conditional Use Permit to allow a Service Station at 1301 W. Irving Park Road, Bensenville

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village

<input type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input checked="" type="checkbox"/>	Vibrant Major Corridors

COMMITTEE ACTION:**DATE:****BACKGROUND:**

1. The Petitioner is applying for a Conditional Use Permit to operate a fueling station at the long vacant property at the northwest corner of Irving Park Road and Spruce Avenue.
2. The station will be rebranded as an Exxon with Quick Mart. Although not part of the original request, it appears they will need a stacking variance, as they don't meet the required two vehicle stacking positions per fueling pump.
3. They were also required to submit building plans, as much of that work had been done with a proper approval.
4. The plans you see are mostly already completed. Also of note, the State Fire Marshal required the property owner to remove existing underground tanks. There are currently no tanks, but the owner says he has new tanks ready to install should the project move forward.

KEY ISSUES:

1. There is concern that there is not a market for another gas station.
2. There is concern about the site design including pedestrian interactions, curb cuts, sidewalks and vehicle pump stacking.
3. This site is at least partially owned by the same owner as the property to the east, bringing into question the applicant's assertion that the site is too small for redevelopment.

ALTERNATIVES:

Discretion of the Board.

RECOMMENDATION:

1. The staff respectfully recommends that the Conditional Use be denied.
2. At the Public Hearing on November 6, 2018, the Community Development Commission voted unanimously (4-0) to recommend denial of the Requests. Motion passed.

BUDGET IMPACT:

N/A

ACTION REQUIRED:

Approval of an Ordinance denying a Conditional Use Permit to allow a Service Station at 1301 W. Irving Park Rd., Bensenville

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
<u>Ordinance</u>	11/8/2018	Ordinance
<u>Legal Notice</u>	10/31/2018	Backup Material
<u>Aerial & Zoning Maps</u>	10/31/2018	Backup Material
<u>Application</u>	10/31/2018	Backup Material
<u>Project Narrative</u>	10/31/2018	Backup Material
<u>Staff Report</u>	10/31/2018	Executive Summary
<u>Building Plans</u>	10/31/2018	Backup Material
<u>Signage</u>	10/31/2018	Backup Material
<u>Stacking Exhibit</u>	10/31/2018	Backup Material
<u>Plat of Survey</u>	10/31/2018	Backup Material
<u>Draft CDC Minutes</u>	11/7/2018	Backup Material

Village of Bensenville
Board Room
12 South Center Street
DuPage and Cook Counties
Bensenville, IL, 60106

MINUTES OF THE COMMUNITY DEVELOPMENT COMMISSION

November 6, 2018

CALL TO ORDER: The meeting was called to order by Chairman Rowe at 6:30p.m.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, Ciula, Marcotte, Wasowicz
Absent: Czarnecki, King, Rodriguez
A quorum was present.

STAFF PRESENT: K. Pozsgay, C. Williamsen

JOURNAL OF

PROCEEDINGS: The minutes of the Community Development Commission Meeting of October 2, 2018 were presented.

Motion: Commissioner Marcotte made a motion to approve the minutes as presented. Commissioner Ciula seconded the motion.

All were in favor. Motion carried.

The minutes of the Special Community Development Commission Meeting of October 30, 2018 were presented.

Motion: Commissioner Marcotte made a motion to approve the minutes as presented. Commissioner Wasowicz seconded the motion.

All were in favor. Motion carried.

Village Planner, Kurtis Pozsgay, announced the petitioner for 321 West Irving Park Road has withdrawn their application.

PUBLIC

COMMENT: There was no Public Comment

Public Hearing: CDC Case Number 2018-12
Petitioner: Lincolnwood Gas & Food, Inc.
Location: 1301 West Irving Park Road
Request: Conditional Use Permit, Service Station,
Municipal Code Section 10 – 7B – 3

Motion: Commissioner Marcotte made a motion to open CDC Case No. 2018-12. Commissioner Wasowicz seconded the motion.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, Ciula, Marcotte, Wasowicz
Absent: Czarnecki, King, Rodriguez
A quorum was present.

Chairman Rowe opened the Public Hearing at 6:33 p.m.

Village Planner, Kurtis Pozsgay, was present and sworn in by Chairman Rowe. Mr. Pozsgay stated a Legal Notice was published in the Bensenville Independent on October 18, 2018. Mr. Pozsgay stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Mr. Pozsgay stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on October 19, 2018. Mr. Pozsgay stated on October 19, 2018 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Mr. Pozsgay stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Mr. Pozsgay stated the Petitioner is applying for a Conditional Use Permit to operate a fueling station at the long vacant property at the northwest corner of Irving Park Road and Spruce Avenue. Mr. Pozsgay stated the station will be rebranded as an Exxon with Quick Mart. Mr. Pozsgay stated although not part of the original request, it appears they will need a stacking variance, as they don't meet the required two vehicle stacking positions per fueling pump. Mr. Pozsgay stated they were also required to submit building plans, as much of that work had been done with a proper approval. Mr. Pozsgay stated the plans you see are mostly already completed. Mr. Pozsgay stated also of note, the State fire marshal required the property owner to remove existing underground tanks. Mr. Pozsgay stated there are currently no tanks, but the owner says he has new tanks ready to install should the project move forward.

Art Wood was present on behalf of the petitioner. Mr. Wood was sworn in by Chairman Rowe. Mr. Wood stated the site has operated as a gas station since 1965. Mr. Wood stated he was simply asking to reestablish the site as a gas station. Mr. Wood stated the petitioner had reached out to other types of businesses to purchase or lease the property with no interest.

Commissioner Marcotte asked what had happened to the tanks on site. Mr. Woods explained it was a mishandling of mail and the property party was not notified in time from the State Fire Marshal's Office.

Commissioner Wasowicz asked if the property owner also owned the carwash to the west. Mr. Wood confirmed the property owner owned both sites.

Public Comment:

Chairman Rowe asked if there was any member of the Public that would like to speak on behalf of the case. There were none.

Mr. Pozsgay reviewed the approval criteria for the proposed request consisting of:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: The area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site is bordered by similar commercial uses and has been in existence since 1956.

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The proposed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center. I would contend that it fits in well with its neighbors.

Additional History/Comment from Applicant:

If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

Staff Response to Approval Criteria:

It is stated repeatedly, and incorrectly, that the existing use will remain. The site is currently vacant with no use. While a past use was a fueling station, it is not correct to say that the existing site function and use as a gas station is not changing. The site is not an existing gas station.

Mr. Pozsgay stated Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Conditional Use for Lincolnwood Gas & Food, Inc. Mr. Pozsgay stated if the CDC recommends approval staff suggests as a minimum the following conditions with the following conditions:

1. The Conditional Use Permit be granted solely to the Lincolnwood Gas & Food and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
2. New building permits are required to deal with 5 outstanding permits and all future permits;
3. All work will have to meet current Code requirements;
4. The Site Plan must be revised to include the closer of the curbs closest to the intersection and the sidewalk must be completed on the Spruce Avenue frontage;
5. Site must be redesigned to eliminate the need for the stacking variation;

6. Monument sign must include 3 feet of landscaping around the base;
7. No liquor license;
8. No video gaming;
9. Building and column/canopy upgrades required.

There were no questions from the Commission.

Motion: Commissioner Marcotte made a motion to close CDC Case No. 2018-12. Commissioner Ciula seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 6:56 p.m.

Motion: Commissioner Marcotte made a combined motion to approve the Findings of Fact for CDC Case No. 2018-12 as presented by Staff and to approve the Conditional Use Permit. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: None

Nays: Rowe, Ciula, Marcotte, Wasowicz

All were in favor. Motion failed.

Public Hearing: CDC Case Number 2018-22
Petitioner: Schmid Tool & Engineering
Location: 1180 Industrial Drive
Request: Conditional Use Permit, Gunsmith shops, not including firing ranges, Municipal Code Section 10 – 9B – 3

Motion: Commissioner Marcotte made a motion to open CDC Case No. 2018-22. Commissioner Wasowicz seconded the motion.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, Ciula, Marcotte, Wasowicz
Absent: Czarnecki, King, Rodriguez
A quorum was present.

Chairman Rowe opened the Public Hearing at 6:58 p.m.

The petitioner was not present.

Motion: Commissioner Marcotte made a motion to continue CDC Case No. 2018-22 until December 4, 2018. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Public Hearing: CDC Case Number 2018-23
Petitioner: Drivetrain Service and Components, Inc.
Location: 292 Devon Avenue
Request: Variances, Signage Number Permitted and Maximum Sign Area, Municipal Code Section 10 – 18 – 12.

Motion: Commissioner Marcotte made a motion to open CDC Case No. 2018-23. Commissioner Wasowicz seconded the motion.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, Ciula, Marcotte, Wasowicz
Absent: Czarnecki, King, Rodriguez
A quorum was present.

Chairman Rowe opened the Public Hearing at 7:02 p.m.

Village Planner, Kurtis Pozsgay, was present and previously sworn in by Chairman Rowe. Mr. Pozsgay stated a Legal Notice was published in the Bensenville Independent on October 18, 2018. Mr. Pozsgay stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Mr. Pozsgay stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on October 19, 2018. Mr. Pozsgay stated on October 19, 2018 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Mr. Pozsgay stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Mr. Pozsgay stated the Petitioner is applying for Variances to install additional signage on their property.

Mr. Pozsgay stated they already have a main sign along Devon Avenue. Mr. Pozsgay stated they want to put up two additional entrance signs indicating "Powertrain Entrance" and "Hydraulics Entrance". Mr. Pozsgay stated theses would normally be fine without a variance but they want to include the business name and logo on 32 square foot individual signs, triggering the need for the variances. Mr. Pozsgay stated they also want to put up a Meritor vendor sign, to honor an agreement with one of their main suppliers. Mr. Pozsgay stated the two entrance signs are flat wall signs. The Meritor sign is a 3' x 3' internally lit cabinet sign.

Ed Bartholomew was present and sworn in by Chairman Rowe. Mr. Bartholomew stated he is representing the sign company retained to complete the proposed project. Mr. Bartholomew reviewed the proposed sign design and locations.

Commissioner Ciula asked what type of power source would be provided to the proposed signs. Mr. Bartholomew stated two of the three signs would not have a light supply to them and the other one is currently undetermined and would be known by permit submittal.

Public Comment:

Chairman Rowe asked if there was any member of the Public that would like to speak on behalf of the case. There were none.

Mr. Pozsgay reviewed the approval criteria for the proposed request consisting of:

1. **Special Circumstances:** Special circumstances exist that are peculiar to the property for which the variances are sought and that do not apply generally to other properties in the same zoning district. Also, these circumstances are not of so general or recurrent a nature as to make it reasonable and practical to provide a general amendment to this Title to cover them.

Response: The lack of signage makes it difficult for customers and creates undue traffic issues.

2. **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Title would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.

Response: Not allowing the entrance signs would create undue hardships on the customers bringing their parts in to be serviced.

3. **Circumstances Relate to Property:** The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography or soil conditions. They do not concern any business or activity of present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

Response: The variance circumstances relate to the property.

4. **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the variance have not resulted from any act, undertaken subsequent to the adoption of this Title or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

Response: No action by the applicant has resulted in the need for the variances.

5. **Preserve Rights Conferred by District:** A variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

Response: The variances are necessary to enjoy all the rights of the property.

6. **Necessary for Use of Property:** The grant of a variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

Response: Without the variance, the company will be deprived of reasonable economic return.

7. **Not Alter Local Character:** The granting of the variance will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

Response: The signs will not alter the local character.

8. **Consistent with Title and Plan:** The granting of a variance will be in harmony with the general purpose and intent of this Title and of the general development plan and other applicable adopted plans of the Village, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

Response: The granting of the variances will be consistent with the title and plan.

9. **Minimum Variance Needed:** The variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

Response: These are the minimum variances needed.

Mr. Pozsgay stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variances for Drivetrain Service and Components, Inc. with the following conditions:

1. The plans and aesthetics of the signs to be in substantial compliance with the plans submitted with this application.

There were no questions from the Commission.

Motion: Commissioner Marcotte made a motion to close CDC Case No. 2018-23. Commissioner Ciula seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 7:12 p.m.

Motion: Commissioner Wasowicz made a combined motion to approve the Findings of Fact for CDC Case No. 2018-23 as presented by Staff and to approve the Variance request. Commissioner Marcotte seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Public Hearing: CDC Case Number 2018-25
Petitioner: MSA Security
Location: 800-804 West South Thorndale Avenue
Request: Conditional Use Permit,
Animal hospitals, kennels, pet grooming, and veterinary offices,
Municipal Code Section 10 – 9B – 3

Motion: Commissioner Marcotte made a motion to open CDC Case No. 2018-25. Commissioner Wasowicz seconded the motion.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, Ciula, Marcotte, Wasowicz
Absent: Czarnecki, King, Rodriguez
A quorum was present.

Chairman Rowe opened the Public Hearing at 7:13 p.m.

Village Planner, Kurtis Pozsgay, was present and previously sworn in by Chairman Rowe. Mr. Pozsgay stated a Legal Notice was published in the Bensenville Independent on October 18, 2018. Mr. Pozsgay stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Mr. Pozsgay stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on October 19, 2018. Mr. Pozsgay stated on October 19, 2018 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Mr. Pozsgay stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Mr. Pozsgay stated the Petitioner is applying for a Conditional Use Permit to operate a dog training facility.

Mr. Pozsgay stated they train canines to detect explosives concealed in airfreight and shipped via other modes of transportation. Mr. Pozsgay stated they will be on site on average of three days per week for approximately four hours per day. Mr. Pozsgay stated there are no overnight stays. Mr. Pozsgay stated the operation is certified and regulated by the TSA, DHS and ATF. Mr. Pozsgay stated all training will take place indoors.

Marc Lambberty, Thomas Goodwyn and John Coleman were all present and sworn in by Chairman Rowe. Mr. Lambberty provided a background of MSA Security. Mr. Lambberty stated the proposed location was chosen because of its proximity to O'Hare Airport.

Commissioner Marcotte asked if the dogs were kept there overnight. Mr. Lambberty stated the dogs stay with their handlers and are only on site during training.

Public Comment:

Chairman Rowe asked if there was any member of the Public that would like to speak on behalf of the case. There were none.

Mr. Pozsgay reviewed the approval criteria for the proposed request consisting of:

- 1) **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: MSA's proposed operations will not create any issues with the traffic flow especially considering that seven employees at most will be on the property at any one time. There will be four to eight teams, each consisting of one canine and one handler, averaging three three-hour training sessions per week during normal business hours. There will be no more than four teams on site at any one time, and no canines will be kept at the property overnight. We will not receive or screen any cargo or host clients at the property. As such, the traffic flow due to MSA's proposed use of the property will certainly be less than almost any other potential user for the space.

- 2) **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: MSA's proposed use of the property will not create any adverse effect of noise, glare, odor, dust, waste disposal, blockage of light, air, or any other environmental issues that is not already present in this industrial area. Small amounts of explosives will be used to train the canines how to detect explosives for offsite, live cargo screening. All of MSA's training activities will take place inside the facility. The explosives will never be used outside the facility nor will they ever be connected to detonators or near flammable materials. They will be stored and secured in Type II magazines which are inspected by a Bureau of Alcohol, Tobacco, Firearms and Explosives inspector upon installation and no less than every three years thereafter. The magazine room will be properly sprinklered and in a controlled and regulated environment. Each has an effective life explosive device span of approximately five years, and contract delivery of new materials will be very rare. Any canine waste will be disposed of properly, and there will be no impact to neighboring properties. The highly-skilled canines are specifically trained not to bark when identifying a potential hit. As such, MSA's proposed use will not have any adverse environmental effects on MSA's future neighbors and the Village of Bensenville.

- 3) **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: MSA's proposed use will be beneficial to almost every other business in the Village considering the amount of cargo that is shipped in and out of the Village and surrounding areas on a daily basis. Other businesses will be able to spend more time and money on running their businesses effectively when they are able to rely on MSA's screening services for both incoming and outgoing cargo. Due to the nature of MSA's training exercises, property values will not deteriorate as MSA's proposed use is heavily regulated and will be entirely contained in controlled environments.

There will be no change on environmental quality or neighborhood character as we will not be receiving or screening cargo shipments onsite and the facility will only be used for training purposes and ancillary office space.

- 4) Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: MSA's proposed use will not require any public service in the facility other than what is already provided. Because the FBI, ATF, TSA, DHS, and the IL Dept. of Natural Resources all heavily regulate MSA's operations, the Village can rely on the federal and state organizations that specialize in overseeing MSA's proposed use of the property. As mentioned previously, the explosives will be kept in a BATFE-inspected magazine room, no detonators or flammable materials will be kept on the property, and a contract delivery service will deliver new and collect old devices once every one to three years at most. Further, each canine is highly trained to detect explosive, not for human protection, and will only be at the property for up to three hours at a time during normal business hours. As such, MSA's proposed use will not place any undue burdens on Village facilities or services especially Bensenville's Police and Fire Departments.

- 5) Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: Billions of pounds of cargo are transported daily throughout the United States with approximately 60% of air cargo being sent on passenger planes while terror groups continue to target the aviation industry. With the property's proximity to O'Hare and the number of businesses in the Village that rely on freight, MSA's operations are a necessary component in today's economy. MSA's goal is to have the absolute best trained bomb dog teams available for vendors at O'Hare to support TSA's Certified Cargo Screening Program. This is meant to ensure that any cargo that is placed on a passenger aircraft in the US is 100% screened for explosive dangers a true national security effort.

As the Village, other surrounding communities and even the Midwest as a whole continue to prosper, there will be further need for MSA to provide mistake-free screening to everyone involved in the cargo industry. The proposed location allows for MSA to conduct its training exercises in a safe environment and in very close proximity to O'Hare which handled 1.9 million tons of cargo in 2017, a record high and a 12% increase from 2016.

- 6) **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: There are no other factors that will have any adverse effect on the community, and MSA's proposed use will only help other businesses thrive throughout the Village and surrounding areas. We greatly appreciate the opportunity to serve those businesses and the Village and respectfully request your approval of MSA's Conditional Use Permit.

Mr. Pozsgay stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Conditional Use Permit for MSA Security with the following conditions:

- i. The Conditional Use Permit be granted solely to the MSA Security and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of a re-occupancy of this property, the new occupants shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new occupant without amendment to the Conditional Use Permit, or if the CDC deems that the new occupant contemplates a change in use which is inconsistent with the Conditional Use Permit, the new occupant shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
- ii. The plans be in substantial compliance with the plans submitted with this application.

There were no questions from the Commission.

Motion:

Commissioner Marcotte made a motion to close CDC Case No. 2018-25. Commissioner Ciula seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 7:24 p.m.

Motion: Commissioner Wasowicz made a combined motion to approve the Findings of Fact for CDC Case No. 2018-25 as presented by Staff and to approve the conditional use request. Commissioner Marcotte seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Report from Community

Development: Mr. Pozsgay reviewed both recent CDC cases along with upcoming cases.

ADJOURNMENT: There being no further business before the Community Development Commission, Commissioner Marcotte made a motion to adjourn the meeting. Commissioner Wasowicz seconded the motion.

All were in favor. Motion carried.

The meeting was adjourned at 7:30 p.m.



Ronald Rowe, Chairman
Community Development Commission

Village of Bensenville
Board Room
12 South Center Street
Bensenville, Illinois 60106
Counties of DuPage and Cook

MINUTES OF THE VILLAGE BOARD OF TRUSTEES MEETING
November 13, 2018

CALL TO ORDER: 1. President DeSimone called the meeting to order at 6:30 p.m.

ROLL CALL: 2. Upon roll call by Village Clerk, Nancy Quinn, the following Board Members were present:

Carmona, Franz, Jaworska, Lomax, Panicola, Perez

Absent: None

A quorum was present.

Staff Present: E. Summers, J. Caracci, B. Dooley, V. English, G. Ferguson, J. Lustro, T. Finner, K. Pozsgay, M. Ribando, D. Schultz, A. Thakkar, S. Viger, C. Williamsen

PUBLIC HEARING: President DeSimone opened the Public Hearing for the 2019 Annual Budget at 6:31 p.m.

President DeSimone announced per the Budget Act under which the Village functions, the Annual Budget must be adopted before the commencement of the Fiscal Year. President DeSimone stated Section 8-2-9 of the Illinois Municipal Code requires that there be an opportunity for public inspection of the proposed Budget Ordinance and a Public Hearing on the proposed appropriation Ordinance before enactment. President DeSimone stated the proposed Ordinance must be made available for public inspection at least 10 days prior to the date on which the Board of Trustees approves the Ordinance. President DeSimone stated additionally the notice of the Public Hearing must also be published at least 10 days prior to the date of the hearing. President DeSimone stated notice was published and inspection of the Budget Ordinance was made available on October 25, 2018.

President DeSimone asked if there was any member of the Public that would like to comment. There was none.

President DeSimone closed the Public Hearing at 6:33 p.m.

PUBLIC COMMENT: There was no public comment.

**APPROVAL OF
MINUTES:**

3. The October 23, 2018 Village Board Meeting minutes were presented.

Motion: Trustee Lomax made a motion to approve the minutes as presented. Trustee Carmona seconded the motion.

All were in favor. Motion carried.

**WARRANT NO.
18/20:**

4. President DeSimone presented Warrant No. 18/120 in the amount of \$3,868,353.77.

Motion: Trustee Franz made a motion to approve the warrants as presented. Trustee Jaworska seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-136-2018:**

5. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-136-2018** entitled a **Resolution Authorizing the Adoption of the Updated 2018 Emergency Operations Plan for the Village of Bensenville.**

There were no questions from the Village Board.

Motion: Trustee Panicola made a motion to approve the resolution as presented. Trustee Perez seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Ordinance No.
59-2018:**

6. President DeSimone gave the summarization of the action contemplated in **Ordinance No. 59-2018** entitled an **Ordinance Approving a Conditional Use Permit to allow a Dog Training Facility at 800-804 W. South Thorndale Avenue, Bensenville.**

Minutes of the Village Board Meeting
November 13, 2018 Page 3

There were no questions from the Village Board.

Motion: Trustee Lomax made a motion to adopt the ordinance as presented.
Trustee Perez seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Ordinance No.
60-2018:**

7. President DeSimone gave the summarization of the action contemplated in **Ordinance No. 60-2018** entitled an **Ordinance Approving an Amendment to Conditional Use Permit for Thorntons, Inc., located at 601 N IL Route 83, Bensenville.**

There were no questions from the Village Board.

Motion: Trustee Perez made a motion to adopt the ordinance as presented.
Trustee Lomax seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Ordinance No.
61-2018:**

8. President DeSimone gave the summarization of the action contemplated in **Ordinance No. 61-2018** entitled an **Ordinance Approving Variances to allow Signage at 292 Devon Avenue, Bensenville.**

There were no questions from the Village Board.

Motion: Trustee Franz made a motion to adopt the ordinance as presented.
Trustee Panicola seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Ordinance No.
62-2018:**

9. President DeSimone gave the summarization of the action contemplated in **Ordinance No. 62-2018** entitled an **Ordinance Denying a Conditional Use Permit to allow a Service Station at 1301 W. Irving Park Road, Bensenville.**

There were no questions from the Village Board.

Motion:

Trustee Lomax made a motion to adopt the ordinance as presented. Trustee Perez seconded the motion.

ROLL CALL:

AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Zoning Ordinance
(Informational):**

Village Staff provided an update to the Village Board regarding changes to the Village's zoning code. Staff stated there were changes to me made and asked the Village Board to refer this matter back to the Community and Development Commission.

Consensus from the Village Board referred this matter back to the Community Development Commission for action at a later date.

**Ordinance No.
63-2018:**

10. President DeSimone gave the summarization of the action contemplated in **Ordinance No. 63-2018** entitled an **Ordinance Adopting the Annual Budget for the Village of Bensenville for the Fiscal Year Commencing January 1, 2019 and Ending December 31, 2019.**

There were no questions from the Village Board.

Motion:

Trustee Panicola made a motion to adopt the ordinance as presented. Trustee Franz seconded the motion.

ROLL CALL:

AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Ordinance No.
64-2018:**

11. President DeSimone gave the summarization of the action contemplated in **Ordinance No. 64-2018** entitled an **Ordinance Adopting the 2018 Tax Levy for the Village of Bensenville, DuPage and Cook Counties, for the Fiscal Year Beginning January 1, 2018 and Ending December 31, 2018.**

There were no questions from the Village Board.

Motion: Trustee Franz made a motion to adopt the ordinance as presented. Trustee Carmona seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-137-2018:**

12. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-137-2018** entitled a **Resolution Approving Worker's Compensation Insurance Coverage with Illinois Public Risk Fund.**

There were no questions from the Village Board.

Motion: Trustee Panicola made a motion to approve the resolution as presented. Trustee Perez seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-138-2018:**

12. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-138-2018** entitled a **Resolution Approving the Liability Insurance Coverage with Travelers Insurance Company for the Village of Bensenville.**

There were no questions from the Village Board.

Motion: Trustee Panicola made a motion to approve the resolution as presented. Trustee Perez seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-139-2018:**

13. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-139-2018** entitled a **Resolution TIC Financial Services as a Voluntary Employee Life Insurance Service Provider for the Village of Bensenville.**

There were no questions from the Village Board.

Motion: Trustee Panicola made a motion to approve the resolution as presented. Trustee Perez seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Ordinance No.
65-2018:**

14. President DeSimone gave the summarization of the action contemplated in **Ordinance No. 65-2018** entitled an **Ordinance of the Village of Bensenville, DuPage and Cook Counties, Illinois Authorizing a Police Chief Employment Agreement with Dan Schulze.**

There were no questions from the Village Board.

Motion: Trustee Franz made a motion to adopt the ordinance as presented. Trustee Panicola seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

President DeSimone administered the Oath of Office for Police Chief, Dan Schulze.

**Resolution No.
R-140-2018:**

15. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-140-2018** entitled a **Resolution Authorizing Payment to Sean McGrath (dba J&S Plumbing, Inc.) of Elk Grove Village , Illinois for the Emergency Repair of a Sanitary Sewer at 170 S. Addison Street in the Not-to-Exceed amount of \$14,600.**

There were no questions from the Village Board.

Motion: Trustee Franz made a motion to approve the resolution as presented. Trustee Jaworska seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-141-2018:**

16. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-141-2018** entitled a **Resolution Authorizing the Execution of a Contract with Morton Salt, Inc. for the Purchase of 600 Tons of Bulk Rock Salt in the Not-to-Exceed Amount of \$27,990.**

There were no questions from the Village Board.

Motion: Trustee Panicola made a motion to approve the resolution as presented. Trustee Jaworska seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-142-2018:**

17. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-142-2018** entitled a **Resolution Authorizing the Execution of a Year One (1) of a Four (4) Year Contract with Winkler's Tree Service Inc. for 2019 Parkway Tree Pruning Program in the Not-to-Exceed Amount of \$44,710.**

There were no questions from the Village Board.

Motion: Trustee Franz made a motion to approve the resolution as presented. Trustee Panicola seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-143-2018:**

18. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-143-2018** entitled a **Resolution Authorizing the Execution of year two (2) of a two (2) year contract with Steve Piper and Son's Inc. for the 2019 Parkway Tree Removal and Stump Grinding Program in the not-to-exceed amount of \$20,000.**

There were no questions from the Village Board.

Motion: Trustee Panicola made a motion to approve the resolution as presented. Trustee Perez seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-144-2018:**

19. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-144-2018** entitled a **Resolution Authorizing the Execution of a Contract with Addlawn Landscaping, Inc. for Lawn Maintenance Services in the Not-to-Exceed Amount of \$73,000.**

There were no questions from the Village Board.

Motion: Trustee Panicola made a motion to approve the resolution as presented. Trustee Jaworska seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-145-2018:**

20. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-145-2018** entitled a **Resolution Authorizing the Execution of a "GIS Consortium Service Provider Contract" with Municipal GIS Partners, Inc. (MGP) for the 2019 Calendar Year in the Not-to-Exceed Amount of \$81,489.**

There were no questions from the Village Board.

Motion: Trustee Lomax made a motion to approve the resolution as presented. Trustee Perez seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-146-2018:**

21. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-146-2018** entitled a **Resolution Authorizing Year One (1) of a Two (2) Year Contract with Clarke Environmental Mosquito Management, Inc. for Mosquito Abatement Services in the Not-to-Exceed Amount of \$36,035.**

There were no questions from the Village Board.

Motion: Trustee Panicola made a motion to approve the resolution as presented. Trustee Lomax seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-147-2018:**

22. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-147-2018** entitled a **Resolution Authorizing the Approval of a Purchase Order to Cartegraph Systems Inc. for year one (1) of a three (3) year Purchase Agreement for the Annual Maintenance of the Work Management System in the Not-to-Exceed Amount of \$35,804.16.**

There were no questions from the Village Board.

Motion: Trustee Lomax made a motion to approve the resolution as presented. Trustee Jaworska seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-148-2018:**

23. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-148-2018** entitled a **Resolution Authorizing the Execution of a Contract Extension with Stewart Spreading Inc. for Sludge Hauling and Land Application in the Not-to-Exceed Amount of \$125,000.**

There were no questions from the Village Board.

Motion: Trustee Lomax made a motion to approve the resolution as presented. Trustee Panicola seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-149-2018:**

24. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-149-2018** entitled a **Resolution Authorizing the Execution of a Contract with Sean Milnes (dba CTS Services, LLC) for the Senior / Disabled Snow Removal Program.**

There were no questions from the Village Board.

Motion: Trustee Perez made a motion to approve the resolution as presented. Trustee Lomax seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-150-2018:**

25. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-150-2018** entitled a **Resolution Authorizing the Execution of a Contract with Tomas Herrera Landscaping for the Senior / Disabled Snow Removal Program.**

There were no questions from the Village Board.

Motion: Trustee Perez made a motion to approve the resolution as presented. Trustee Franz seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-151-2018:**

26. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-151-2018** entitled a **Resolution Approving an Acquisition of the Necessary Right of Way, Permanent and/or Temporary Easements from SCP 2003D-19, LLC of 700 W Irving Park Rd (PIN 03-14-119-012) in the Not-to-Exceed Amount of \$72,500.00 Related to the Church Rd TAP-TCM Project.**

There were no questions from the Village Board.

Motion: Trustee Franz made a motion to approve the resolution as presented. Trustee Lomax seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-152-2018:**

27. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-152-2018** entitled a **Resolution Authorizing the Sole Source Purchase of Tideflex Mixing System (TMS) to be Installed at the Belmont Ave Water Tower in the Not-to-Exceed Amount of \$28,084.00.**

There were no questions from the Village Board.

Minutes of the Village Board Meeting
November 13, 2018 Page 12

Motion: Trustee Franz made a motion to approve the resolution as presented. Trustee Panicola seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Resolution No.
R-153-2018:**

28. President DeSimone gave the summarization of the action contemplated in **Resolution No. R-153-2018** entitled a **Resolution Waiving Competitive Bidding and Awarding a Contract to Jetco, LTD for Installation of the Tideflex Mixing System (TMS) at the Belmont Ave Water Tower in the Not-to-Exceed Amount of \$29,470.00.**

There were no questions from the Village Board.

Motion: Trustee Panicola made a motion to approve the resolution as presented. Trustee Franz seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**Ordinance No.
66-2018:**

29. President DeSimone gave the summarization of the action contemplated in **Ordinance No. 66-2018** entitled an **Ordinance Designating Certain Property as Surplus and Authorizing the Disposal.**

There were no questions from the Village Board.

Motion: Trustee Panicola made a motion to adopt the ordinance as presented. Trustee Franz seconded the motion.

ROLL CALL: AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYS: None

All were in favor. Motion carried.

**PRESIDENT'S
REMARKS:**

President DeSimone announced the Village of Bensenville was selected as a Canadian Pacific Railroad Holiday Train Stop. President DeSimone stated the train is scheduled to arrive at the corner of south York Rd. and east Railroad Ave. on Thursday, December 6th at 3:45 p.m. President DeSimone stated the food train raises awareness to local hunger awareness. President DeSimone asks our Community to come out and enjoy this event and to bring a non-perishable food item for donation. President DeSimone stated more information is on the Village's website.

President DeSimone announced toy drive and coat drive boxes have been put out around the Village. President DeSimone asked for all to consider donating a new toy or a new or slightly used coat this Holiday Season. President DeSimone stated distribution ends on December 3rd.

President DeSimone announced the Village's Senior Christmas luncheon will take place on Friday, December 14th at White Pines Banquets. President DeSimone announced doors open at 10:00 a.m. President DeSimone announced tickets must be purchased in advance and will not be sold at the door. President DeSimone announced tickets are \$10 for residents and \$25 for non-residents. President DeSimone announced to visit the Village's website or call the Senior hotline (630-350-3426) for more details.

President DeSimone announced sign up continues for the Senior Snow Plowing Program. President DeSimone announced all inquiries should contact Public Works at 630-350-3435.

President DeSimone announced Holiday magic will be held on November 25th beginning at 3:00 p.m. in Town Center. President DeSimone announced the tree lighting will begin at 6:00 p.m. President DeSimone invites all to attend.

**MANAGERS
REPORT:**

Village Manager, Evan Summers, announced Village Hall will be closed November 22-25 in observation of Thanksgiving.

Mr. Summers announced the next Neighborhood Watch Meeting is scheduled for November 15th at 7:00pm at the Bensenville Police Station.

Mr. Summers reminded all not to rack leaves into the street. Mr. Summers announced violators will be fined.

**VILLAGE ATTORNEY
REPORT:**

Village Attorney, Joseph Montana, had no report.

**EXECUTIVE
SESSION:**

Village Attorney, Joseph Montana, stated there was not a need for Executive Session.

ADJOURNMENT:

Trustee Carmona made a motion to adjourn the meeting. Trustee Panicola seconded the motion.

All were in favor. Motion carried.

President DeSimone adjourned the meeting at 7:23 p.m.

Nancy Quinn
Village Clerk

PASSED AND APPROVED by the President and Board of Trustees of the Village of Bensenville this 18th day, December 2018

**VILLAGE OF BENSENVILLE
12 S. CENTER STREET
BENSENVILLE, ILLINOIS 60106**

Ordinance No. 62-2018

**An Ordinance Denying a Conditional Use to Allow a Service Station for the
Property Located at 1301 W. Irving Park Rd., Bensenville, Illinois**

**ADOPTED BY THE
VILLAGE BOARD OF TRUSTEES
OF THE
VILLAGE OF BENSENVILLE
THIS 13th DAY OF NOVEMBER 2018**

Published in pamphlet form by authority of the President and Board of Trustees of the Village of
Bensenville, DuPage and Cook Counties, Illinois this 14th day of November, 2018

STATE OF ILLINOIS)
COUNTIES OF COOK)
SS AND DUPAGE)

I, Corey Williamsen, do hereby certify that I am the duly appointed Deputy Village Clerk of the Village of Bensenville, DuPage and Cook Counties, Illinois, and as such officer, I am the keeper of the records and files of said Village; I do further certify that the foregoing constitutes a full, true and correct copy of Ordinance No. 62-2018 entitled an Ordinance Denying a Conditional Use to Allow a Service Station for the Property Located at 1301 W. Irving Park Rd., Bensenville, Illinois.

INWITNESS WHEREOF, I have hereunto affixed my official hand and seal on this 14th day of November, 2018.





Corey Williamsen
Deputy Village Clerk

ORDINANCE # 62-2018

**AN ORDINANCE DENYING A CONDITIONAL USE TO ALLOW A
SERVICE STATION FOR THE PROPERTY LOCATED AT
1301 W. IRVING PARK RD., BENSENVILLE, ILLINOIS**

WHEREAS, Leonidas Bairaktaris and Kyriakos Giannoudakos ("Owner") and Lincolnwood Gas & Food, Inc. ("Applicant"), filed an application for approval of a conditional use permit to allow for a Service Station in a C – 2 Highway Commercial zoning district as set forth in Section 10 – 7B – 3 of the Village of Bensenville Zoning Ordinance ("Zoning Ordinance") for the property located at 1301 W. Irving Park Rd., Bensenville, as legally described in Exhibit "A," attached hereto and incorporated herein by reference (the "Subject Property"), a copy of said application being contained on file in the Community and Economic Development Department; and

WHEREAS, Notice of Public Hearing with respect to the conditional use sought by the Applicant was published in the Bensenville Independent on October 18, 2018 by the Village of Bensenville, and notice was also given via posting of a Public Hearing Sign on the Subject Property and via First Class mail to taxpayers of record within 250 feet of the Subject Property, all as required by the statutes of the State of Illinois and the ordinances of the Village; and

WHEREAS, pursuant to said Notice, the Community Development Commission of the Village of Bensenville conducted a Public Hearing on November 6, 2018 as required by the statutes of the State of Illinois and the ordinances of the Village; and

WHEREAS, after hearing the application, the Community Development Commission disagreed with the findings of fact submitted by Applicant recommending approval of the conditional use and, thereafter, voted unanimously (0-4) to recommend denial of the conditional use, and forwarded its recommendations, including the Staff Report and findings relative to the conditional use to the Village Board, which concurred in the recommendation made therein, as are attached hereto and incorporated herein by reference as Exhibit "B"; and

WHEREAS, the President and Board of Village Trustees have reviewed the matter herein and have determined that denial of the requested conditional use as recommended by the Community Development Commission to allow a service station is consistent with the Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Bensenville, Counties of DuPage and Cook, Illinois, duly assembled at a regular meeting, as follows:

SECTION ONE: That the forgoing recitals are hereby incorporated by reference as if fully set forth herein.

SECTION TWO: That the Subject Property is currently zoned under the Zoning Ordinance as C – 2 Highway Commercial District, which zoning classification shall remain in effect subject to the conditional use denied herein.

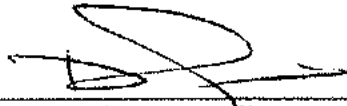
SECTION THREE: That the Staff Report and Recommendation to deny the conditional use sought, as allowed by the Zoning Ordinance, Section 10 – 7B – 3, as adopted by the Community Development Commission as shown in Exhibit “B” is hereby adopted by the President and Board of Trustees, the Board of Trustees finding that the denial of said conditional use are proper and necessary.

SECTION FOUR: That the conditional use sought by the Applicant to allow a service on the Subject Property is hereby denied.

SECTION SIX: That all other ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance, are, to the extent of such conflict, expressly repealed.

SECTION SEVEN: This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Bensenville, this 13th day of November 2018.



Frank DeSimone, Village President

ATTEST:



Nancy Quinn, Village Clerk

AYES: Carmona, Franz, Jaworska, Lomax, Panicola, Perez

NAYES: None

ABSENT: None

Ordinance # 62 - 2018
Exhibit "A"
Legal Description

The Legal Description is as follows:

LOTS 3, 4, 5, 6, AND 7 IN BLOCK 40 IN THE FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, BEING A SUBDIVISION IN SECTIONS 10, 11, 14, AND 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926, AS DOCUMENT 213044, EXCEPT THAT PART OF LOT 3 TAKEN FOR ROADWAY PURPOSES BY THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION AS SHOWN AS PARCEL 0026 ON PLAT RECORDED MARCH 19, 1985, AS DOCUMENT R85-18882, AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 3: THENCE NORTH 86 DEGREES 23 MINUTES 55 SECONDS WEST ALONG THE SOUTH LINE OF LOT 3, A DISTANCE OF 10.00 FEET; THENCE NORTH 46 DEGREES 43 MINUTES 13 SECONDS EAST, 14.17 FEET TO THE EAST LINE OF LOT 3; THENCE SOUTH 01 DEGREE 50 MINUTES 22 SECONDS WEST ALONG THE EAST LINE OF LOT 3, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

ADDRESS: 1301 W IRVING PARK ROAD, BENSENVILLE, ILLINOIS.

Ordinance # 62 - 2018
Exhibit "B"
Findings of Fact

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: The area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sites bordered by similar commercial uses and has been in existence since 1956.

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public

convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The prosed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center. I would contend that it fits in well with its neighbors.

Additional History/Comment from Applicant:

If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

Staff Response to Approval Criteria:

It is stated repeatedly, and incorrectly, that the existing use will remain. The site is currently vacant with no use. While a past use was a fueling station, it is not correct to say that the existing site function and use as a gas station is not changing. The site is not an existing gas station.

Mr. Pozsgay stated Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Conditional Use for Lincolnwood Gas & Food, Inc. Mr. Pozsgay stated if the CDC recommends approval staff suggests as a minimum the following conditions with the following conditions:

1. The Conditional Use Permit be granted solely to the Lincolnwood Gas & Food and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new

proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;

2. New building permits are required to deal with 5 outstanding permits and all future permits;
3. All work will have to meet current Code requirements;
4. The Site Plan must be revised to include the closer of the curbcuts closest to the intersection and the sidewalk must be completed on the Spruce Avenue frontage;
5. Site must be redesigned to eliminate the need for the stacking variation;
6. Monument sign must include 3 feet of landscaping around the base;
7. No liquor license;
8. No video gaming;
9. Building and column/canopy upgrades required.

There were no questions from the Commission.

Motion: Commissioner Marcotte made a motion to close CDC Case No. 2018-12. Commissioner Ciula seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 6:56 p.m.

Motion: Commissioner Marcotte made a combined motion to approve the Findings of Fact for CDC Case No. 2018-12 as presented by Staff and to approve the Conditional Use Permit. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: None

Nays: Rowe, Ciula, Marcotte, Wasowicz

All were in favor. Motion failed.

Ronald Rowe, Chairman
Community Development Commission



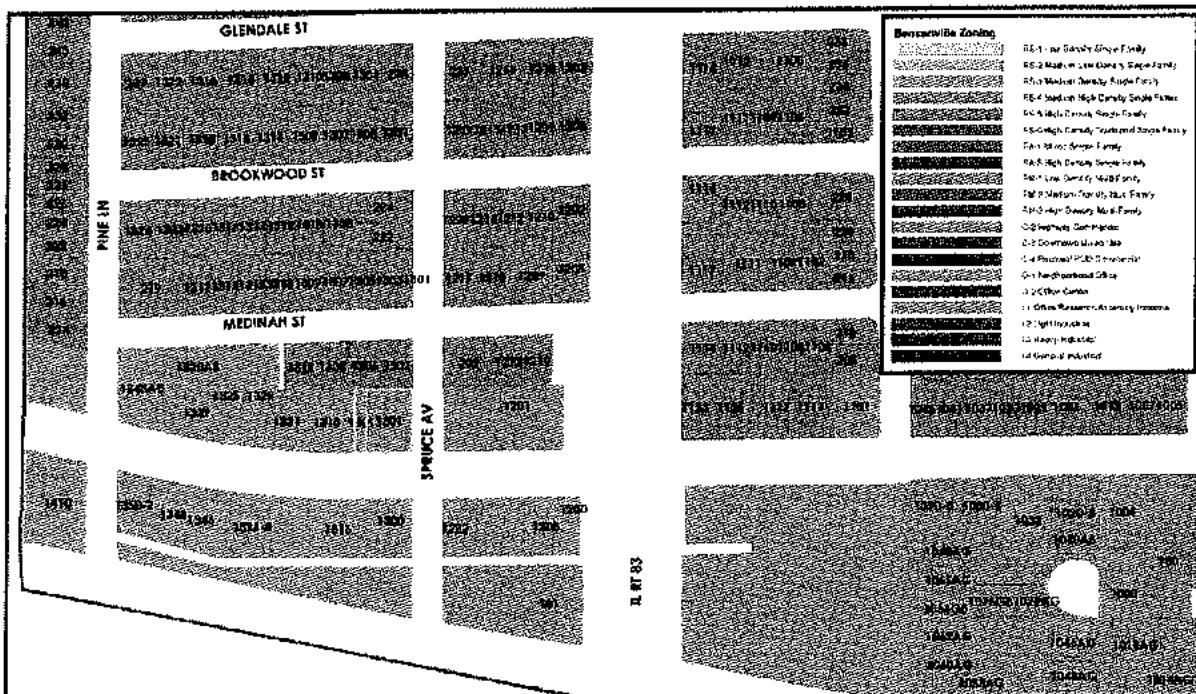
Village of Bensenville

1301 W Irving Park Rd



Village of Bensenville

Zoning Map



**LEGAL NOTICE/PUBLIC NOTICE
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Tuesday, November 6, 2018 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2018 – 12 to consider a request for:

Conditional Use Permit, Service Station,
Municipal Code Section 10 – 7B – 3.

1301 West Irving Park Road is in a C – 2 Highway Commercial district. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOTS 3, 4, 5, 6, AND 7 IN BLOCK 40 IN THE FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, BEING A SUBDIVISION IN SECTIONS 10, 11, 14, AND 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926, AS DOCUMENT 213044, EXCEPT THAT PART OF LOT 3 TAKEN FOR ROADWAY PURPOSES BY THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION AS SHOWN AS PARCEL 0026 ON PLAT RECORDED MARCH 19, 1985, AS DOCUMENT R85-18882, AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 3: THENCE NORTH 86 DEGREES 23 MINUTES 55 SECONDS WEST ALONG THE SOUTH LINE OF LOT 3, A DISTANCE OF 10.00 FEET; THENCE NORTH 46 DEGREES 43 MINUTES 13 SECONDS EAST, 14.17 FEET TO THE EAST LINE OF LOT 3; THENCE SOUTH 01 DEGREE 50 MINUTES 22 SECONDS WEST ALONG THE EAST LINE OF LOT 3, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

ADDRESS: 1301 W IRVING PARK ROAD, BENSENVILLE, ILLINOIS.

Leonidas Bairaktaris of 6N068 Acacia Ln., Medinah 60157 and Kyriakos Giannoudakos of 420 Sunnyside Ave, Itasca, IL 60143 are the owners and Lincolnwood Gas & Food, Inc of 6559 N. Lincoln Ave, Lincolnwood, IL 60712 the applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through August 7, 2018 until 5:00 P.M.

Office of the Village Clerk
Village of Bensenville

TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT

October 18, 2018

Brief Description of Request(s): (submit separate sheet if necessary)

Conditional Use Permit, to continue using the existing Gas Station located at 1301 W. Irving Plk. Rd.
as a Gas Station (#03-15-222-013 & 03-15-222-019)

D. PROJECT DATA:

1. General description of the site: Existing corner gas station located in C-2 district
2. Acreage of the site: 39 Acres Building Size (if applicable): 1421 SF Gross
3. Is this property within the Village limits? (Check applicable below)
☒ X Yes
☐ No, requesting annexation
☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)
None
5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:	C-2	Gas Station C-Store	Village of Bensenville
North:	RS-5	SFH	Village of Bensenville
South:	C-2	Auto Body/ Repair Shop	Village of Bensenville
East:	C-2	Car Wash	Village of Bensenville
West:	C-2	Retail	Village of Bensenville

E. DEVELOPER'S STAFF (if applicable):

ARCHITECT

Name: NA

Telephone: _____

Email: _____

ENGINEER:

Name: NA

Telephone: _____

Email: _____

ATTORNEY

Name: NA

Telephone: _____

Email: _____

OTHER Woods Design Group, Construction Manager

Name: Art Woods

Telephone: 630-886-5163

Email: artwoods@woodsdc.com

F. APPROVAL CRITERIA:

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The COC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."

WOODS DRESIGN GROUP, as Construction Managers for

Client: (Tenant/Lessee) Lincolnwood Gas & Food, Inc

Municipal Code section 10-3-4:C Approval Criteria for Conditional Use Permit

Project Address: 1301 W. Irving Pk. Rd., Bensenville Illinois

- 1) Traffic Impact:** the area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.
- 2) Environmental Nuisance:** The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.
- 3) Neighborhood Character:** The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sites bordered by similar commercial uses and has been in existence since 1956.
- 4) Use of Public seNices and facilities:** The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.
- 5) Public Necessity:** The prosed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.
- 6) Other Factors:** In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center, I would contend that it fits in well with its neighbors.
- 7) History/Comment:** If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

STATE OF ILLINOIS

COUNTY OF DUPAGE AND COOK

)
)SS.
)

AFFIDAVIT OF OWNERSHIP

I 1E:06J1PJ1'-S *'B>AtZAKTAi!!'..AS the undersigned Affiant, being first duly sworn,
on oath states:

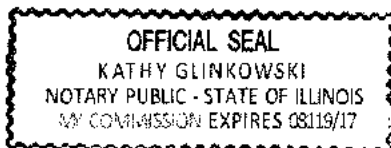
1. That Affiant has personal knowledge of the representations and statements made herein, and has examined all necessary documents, records of ownership and such other information as is required to confirm the statements and representations herein;
2. That the owner(s) and contract purchaser(s), if any, as set forth on the Petition attached hereto is (are) the owner(s) of record and contract purchasers of said property;
3. That all consents to the attached Petition required of lenders or of others holding an interest in the property have been obtained;
4. This Affidavit of Ownership is given to induce the Village of Bensenville, without further inquiry as to ownership or purchase interest, to rely on said statements and representations and to process and set for Public Hearing the Petition as attached hereto; and,
5. Affiant is aware of and has been advised that any false statement set forth in this Affidavit of Ownership may subject Affiant to criminal sanctions for perjury, punishable as provided by the statutes of the State of Illinois in relation to the crime of perjury.

IN WIT SS WHEREO the undersigned has executed this Affidavit of Ownership
this _____ day of, "f;J'd: '2-ul /

CW. oU cA +i, IU/2
signature

SUBSCRIBED and SWORN to
before me this 3 day of, August, 2017.

[Signature]
Notary Public



Village of Bensenville Conditional Use Permit

EXHIBIT "A"

1301 W. Irving Pk. Rd., Bensenville Illinois

Legal Description

Lots 3, 4, 5, 6 and 7 in Block 40 in the first addition to Percy Wilson's Irving Park Manor, being a subdivision in Sections 10, 11, 14, and 15, Township 40 North, Range 11, East of the Third Principal Meridian, according to the plat thereof recorded May 7, 1926 as Document 11213044, except that part of Lot 3 taken for Roadway purposes by Document R85-18882, in DuPage County, Illinois

PIN : 03-15-222-013 & 03-15-222-019

Address: 1301 W. Irving Park Rd. Bensenville, IL

60106

106

install EXXON computer ID sign on canopy as shown
there would be two sets of signs
one on the west side one on the east end
22' x 31' long EXXON letters two sets of 15 on the sign 30' x 31' total



Project Narrative 1301 W. Irving Park Road

INTRODUCTION

Lincolnwood Gas & Foods, Inc. ("LG&F") is requesting to reestablish their gas station at the corner of Irving Pk. Rd. and Spruce Ave. in Bensenville, including completion of the remodeling of the existing building, and includes rebranding the station to an Exxon station with Quick Mart.

Remodel of an approximately 1,500 square foot convenience store, eight car (8) parking stalls, six (6) multi-product fueling dispensers (this provides for twelve (10) automobile fueling positions)

This remodel will transform the underutilized repair station into a first class, updated fueling center. The Exxon Quick Mart, with both food and fueling components will serve the residents as well as a very active transient day time population.

The Quick Mart will give significant benefits to the immediate neighborhood as well as serving the west bound traffic on Irving park Rd. and that traffic exiting route 83 to Spruce Ave. In addition, this facility will create 2-4 new jobs in the community these will typically be people living within 5-7 blocks of the station.

The reestablishment and rejuvenation of the property will provide much needed amenities to the growing residential area and to more than 5,800 vehicles exiting Rout 83 on Spruce Ave. along with 18,800 daily vehicles on Irving Park Road.

The Quick Mart store will offer a variety of both replenishable & consumables from food to toiletry options, hot and cold beverages, and other convenience goods consisting of more than 900 items or SKU's.

MARKET OVERVIEW

LG&F targeted customers are (a) the residents with in one-mile radius, this group will visit the station on a regular basis 1-3 times a week as it will be the most convenient place to buy consumables. (b) residents within 1-2 mile radius this group in general will visit one time per month, and finally (c) the transient group is the day time traffic of 5,800 coming from Rout 83 off of Spruce Ave. past our store, and the west bound traffic on Irving Pk. Rd. 18,800 of this we will get a percentage of the traffic as our daytime customer.

According to the leading industrial real estate brokers in the O'Hare industrial office/warehouse submarket (bounded by I-294 on the east, I-290 on the south, I-355/Route 53 on the west, and Touhy Avenue on the north) has nearly 100,000,000 square feet of industrial flex space and represents the largest contiguous industrial park in the United States.

Despite the development of new fueling stations in the Bensenville area, the expansion of the industrial park and the extension of the Elgin-O'Hare expressway continues to drive consumer demand for a quick convenient "Quick Mart" Fueling Station for daily commuters as well as the increasing local population needed to keep it all working.

PROJECT OVERVIEW

Since the site is located along two of the busiest travel routes in the Bensenville, Elk Grove Village and Wood Dale area, the Quick Mart will provide eight fast flow standard fueling lanes and two fast flow diesel lanes for cars and small trucks.

LG&F is also looking into setting up quick charge refueling for electric cars, we believe that this is the wave of the future for the daily local commuter and we would like to lead the way. Looking at the expanding market of electric cars and light truck we believe that it just a matter of time before they become main stream.

MARKET ANALYSIS

The reestablishment of this station along with the new and improved Quick Mart will serve the greater Bensenville O'Hare area for the next fifty years as it has for the past 60 years.

This location has long served as a combination auto repair/fueling station and most recently changed from auto repair to quick Mart fueling station given the many changes in both car technology and traffic demands this change was long overdue. It is because of our long history and willingness to expand and improve we humbly request that you approve our request for a special use permit to reestablish our business and continue our long history of serving the greater Bensenville area.

LG&F has projected sales of both Gas and convenient store sale see chart below. This at 1% sales tax would net +/- \$7,500.00 a year to the Village along with increased EAV with improved site. This is a win for everyone.

	Month												TOTAL
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	
Gallons sold	75,000	73,000	76,000	78,000	75,000	80,000	85,000	88,000	84,000	83,000	82,000	81,000	960,000
STORE SALES	50,000	50,000	55,000	60,000	60,000	63,000	70,000	72,000	70,000	68,000	66,000	60,000	744,000



STAFF REPORT

HEARING DATE: November 6, 2018
CASE #: 2018 – 12
PROPERTY: 1301 W Irving Park Rd
PROPERTY OWNER: Leonidas Bairaktaris and Kyriakos Giannoudakos
APPLICANT: Lincolnwood Gas & Food, Inc
SITE SIZE: 16,918 SF
BUILDING SIZE: 1,435 SF
PIN NUMBERS: 03-15-222-013; -019
ZONING: C – 2 Highway Commercial District
REQUEST: Conditional Use Permit, Service Station,
Municipal Code Section 10 – 7B – 3.

PUBLIC NOTICE:

1. A Legal Notice was published in the Bensenville Independent on Thursday October 18, 2018. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Friday October 19, 2018.
3. On Friday October 19, 2018, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

SUMMARY:

The Petitioner is applying for a Conditional Use Permit to operate a fueling station at the long vacant property at the northwest corner of Irving Park Road and Spruce Avenue. The station will be rebranded as an Exxon with Quick Mart. Although not part of the original request, it appears they will need a stacking variance, as they don't meet the required two vehicle stacking positions per fueling pump. They were also required to submit building plans, as much of that work had been done with a proper approval. The plans you see are mostly already completed. Also of note, the State fire marshal required the property owner to remove existing underground tanks. There are currently no tanks, but the owner says he has new tanks ready to install should the project move forward.

SURROUNDING LAND USES:

	Zoning	Land Use	Comprehensive Plan	Jurisdiction
Site	C – 2	Vacant Commercial	Local Commercial	Village of Bensenville
North	RS – 5	Residential	Single Family Residential	Village of Bensenville
South	C – 2	Commercial	Local Commercial	Village of Bensenville
West	C – 2	Commercial	Local Commercial	Village of Bensenville
East	C – 2	Commercial	Local Commercial	Village of Bensenville

DEPARTMENT COMMENTS:***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input checked="" type="checkbox"/>	Vibrant Major Corridors

Finance:

Account is paid up to date.

Police:

No police issues.

Engineering and Public Works:

No comments.

Community & Economic Development:**Economic Development:**

- 1) Supportive of this conditional use permit for a fueling station use.
- 2) The site is already built out as a gas station, and as such will require minimal construction or rehabilitation.
- 3) The fueling station will create a number of jobs for community residents, as well as generate sales tax for the Village.

Fire Safety:

No comments at this time.

Building:

- 1) The site has five issued permits, dating back to 2014, that have not been completed.
 - a. #4009 Interior demolition applied for 1/2014
 - b. #4313 Building alteration applied for 6/2014
 - c. #4842 Exterior improvements applied for 1/2015
 - d. #4928 Signage applied for 3/2015
 - e. #7884 Tank removal applied for 2/2018
- 2) New building permits would be required and since none of the old permitted work was finalized, all work will have to meet current code requirements.

- 3) An Office of the State Fire Marshal (OSFM) permit will be required for the installation of the new tanks.

Planning:

- 1) The 2015 Comprehensive Plan indicates "Local Commercial" for this property.
- 2) There was a prior gas station on the property. It closed in 2014.
- 3) Since this station closed, there have been 5 fueling stations approved by Village Board:
- 4) There are 13 fueling stations in the Village currently, with one more approved recently.

ADDRESS	BUS NAME
1285 NORTH ELLIS STREET	ROAD READY
1156 SOUTH YORK ROAD	7- ELEVEN/ EXXON
550 NORTH IL RT 83 ROAD	B P CONNECT (BP PRODUCTS NORTH AMERICA)
600 NORTH IL RT 83 ROAD	BENSENVILLE SHELL
1225 WEST DEVON AVENUE	CITGO
600 WEST IRVING PARK ROAD	BP
647 SOUTH YORK ROAD	SUNNY PETROLEUM, INC. (MARATHON)
550 ILLINOIS ROUTE 83	BP/SUBWAY
601 NORTH IL RT 83 ROAD	THORNTONS INC, #314
1120 WEST IRVING PARK ROAD	SPEEDWAY #7412
101 WEST IRVING PARK ROAD	AMOCO
801 NORTH IL RT 83 ROAD	BRYN MAWR CITGO
1050 NORTH IL RT 83 ROAD	PILOT TRAVEL CENTER LLC
720 EAST GREEN STREET	AMERIFREIGHT*

- 5) Applicant is proposing 10 auto-fueling positions: eight regular fuel and two diesel.
- 6) Applicant submitted a stacking exhibit, which doesn't show the required two stacking spots per fueling station. A variance for stacking requirements was not applied for.
- 7) The applicant is interested in installing electric vehicle charging stations.
- 8) From Village Code: The Village Board may require a traffic study to verify that the placement and spacing of curb cuts will not result in traffic conflicts with pedestrians and other motorists.
- 9) A full traffic study was not submitted.
- 10) Staff may want to close a curbcut.
- 11) The Spruce Avenue frontage does not have a sidewalk. Where the Site Plan has striping we should seek the removal of the pavement and have green space reintroduced to the Site.
- 12) The applicant submitted a project narrative with market overview.
 - a. They anticipate 960,000 gallons sold a year.
 - b. They anticipate the convenience store selling a total of \$744,000 a year.
- 13) The monument sign must include landscaping around the base.
- 14) The building and canopy are not built to the same standards as other recent approvals, including masonry on building and canopy columns.
- 15) Changes to the columns to include masonry and upgrades to the building should be considered.
- 16) Without the tanks in ground, is it possible to relocate/redesign pump islands to mitigate stacking variation?
- 17) Staff does not recommend a liquor license or video gaming to be allowed.

APPROVAL CRITERIA FOR CONDITIONAL USES:

The Community Development Commission shall not recommend approval of the Conditional Use Permit without determining that the request meets the following approval criteria and making certain findings of fact. The Applicant has provided the following Findings of Fact:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: The area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sites bordered by similar commercial uses and has been in existence since 1956.

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The prosed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center. I would contend that it fits in well with its neighbors.

Additional History/Comment from Applicant:

If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

Staff Response to Approval Criteria:

It is stated repeatedly, and incorrectly, that the existing use will remain. The site is currently vacant with no use. While a past use was a fueling station, it is not correct to say that the existing site function and use as a gas station is not changing. The site is not an existing gas station.

Conditional Use Approval Criteria	Meets Criteria	
	Yes	No
1. Traffic		X
2. Environmental Nuisance	X	
3. Neighborhood Character	X	
4. Public Services and Facilities	X	
5. Public Necessity		X
6. Other Factors	X	

RECOMMENDATIONS:

Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Conditional Use for Lincolnwood Gas & Food, Inc. If the CDC recommends approval staff suggests as a minimum the following conditions with the following conditions:

1. The Conditional Use Permit be granted solely to the Lincolnwood Gas & Food and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
2. New building permits are required to deal with 5 outstanding permits and all future permits;
3. All work will have to meet current Code requirements;

4. The Site Plan must be revised to include the closer of the curbcuts closest to the intersection and the sidewalk must be completed on the Spruce Avenue frontage;
5. Site must be redesigned to eliminate the need for the stacking variation;
6. Monument sign must include 3 feet of landscaping around the base;
7. No liquor license;
8. No video gaming;
9. Building and column/canopy upgrades required.

Respectfully Submitted,
Department of Community
& Economic Development

From: Victoria Kosman
Sent: Tuesday, December 10, 2013 3:09 PM
To: [REDACTED]
Cc: Scott Viger; Dean Lawrentz
Subject: Drive - Through at 1301 W. Irving Park Road

Good afternoon Tony,

Pursuant to our phone conversation, the documents to be prepared for the Conditional Use Permit for the drive-through at 1301 W. Irving Park Road will include the following:

1. Completed Application (found here: <http://bensenville.il.us/DocumentCenter/View/7669>)
 - a. Ownership affidavit (signed)
 - b. Application
 - c. Approval Criteria for Conditional Uses
 - i. Criteria can be found within the packet on pg. 5. Please respond with how your request meets each of the criteria.
 - d. Escrow agreement (signed)
2. Fee: \$800.00 (\$500.00 – non-refundable application fee and \$300.00 escrow)
3. Plat of Survey
4. Site Plans
5. Landscape Plans

Additionally, it is also recommended you/your client submit a letter describing the reasoning for the request. For the formal request would for a conditional use permit allowing a drive through establishment per municipal code section 10-7B-3 in the C-2 Highway Commercial District (http://www.sterlingcodifiers.com/codebook/index.php?book_id=819).

Please feel free to contact me at 630.350.3422 if you have any questions or require any clarifications.

Thank you,

Victoria Kosman
Planner



12 South Center Street
Bensenville, IL 60106
T: 630.350.3422 C: 630.725.8069 F: 630.350.3449
vkosman@bensenville.il.us
www.bensenville.il.us

From: Dean Lawrentz
Sent: Wednesday, July 23, 2014 8:57 AM
To: [REDACTED]
Subject: 1301 Irving Park
Attachments: 1301 Irving Park Plan Review #1.docx

Attached to the plan review comments for your project. Please resubmit four(4) copies of plans and all supporting documents to this office. Include the address and permit number(#4313) on all items submitted. If you have any questions please contact me.

*Dean Lawrentz, MCP
Building Plan Reviewer/Inspector
Village of Bensenville
Office- 630-350-3410
Cell- 847-306-2699
dlawrentz@bensenville.il.us*



12 South Center Street
Bensenville, IL 60106

Office: 630.350.3413
Fax: 630.350.3449
www.bensenville.il.us

VILLAGE BOARD

President
Frank Soto

Trustees
Morris Bartlett
Susan V. Janowiak
Robert "Bob" Jarecki
Martin O'Connell
JoEllen Ridder
Henry Wessler

Village Clerk
Ilsa Rivera- Trujillo

Village Manager
Michael J. Cassidy

DATE: July 23, 2014

PROJECT ADDRESS: 1301 W Irving Park Rd
Bensenville, IL 60106

PERMIT NO.: 4313

REVIEW STATUS: **Building: Not Approved/Plumbing: Not Approved.**
Submit revised plans and/or documents addressing the comments below.

This review is based upon and limited to the information presented on the drawings and/or material submitted. Matters not presented within the construction documents submitted nor items not requested for review, which are required for the granting of permits by the jurisdiction, are assumed to be reviewed and inspected by others and not to be considered as part of this review unless otherwise herein specifically requested. No responsibility or duty is accepted, implied, or extended to, for and/or resulting from construction in any phase, form or manner. All areas of review not referenced in the headings below, including base building, zoning and engineering reviews, are assumed to be or to have been reviewed by others.

The following plan review does not imply that the submittal is either approved or disapproved by the municipality for which it is being reviewed. Submittal approval, disapproval and the granting of permits to start work must be obtained from the municipality.

COMMENTS:

BUILDING (2006 International Building Code as amended)

1. Note: All engineering and zoning requirements, including exterior materials, colors, signs, site lighting, parking requirements, fencing, site improvements, etc. are reviewed by others under separate submittal, and are not within the scope of this review. (Note only. No review response required.)
2. Submit complete plans and specifications under separate permit for approval for all modifications to the fire alarm and fire sprinkler systems prior to the start of such work. (Section 106.1.1)

3. Revise the plans to indicate the correct codes as adopted by the Village of Bensenville. The Village of Bensenville has adopted the 2006 International Building Code, 2006 International Mechanical Code, 2006 International Fuel Gas Code, 1997 Illinois Accessibility Code, 2014 Illinois Plumbing Code and the 2008 National Electric Code.
4. The means of egress, including the area of exit discharge, shall be provided with emergency lighting. The loss of any one bulb shall not leave the area in total darkness. The exterior emergency lighting shall be a dual-head configuration. (Section 1006)
5. Provide an equipment / display layout plan to verify means of egress and accessibility. (Section 106.1.1)

STRUCTURAL (2006 International Building Code as amended)

1. No structural code deficiencies noted

H.C. ACCESSIBILITY (1997 Illinois Accessibility Code)

1. Indicate on the plans that all self-service counters shall be installed at a maximum of 34" above the floor. (Section 400.320(h))
2. Indicate on the plans that at least one of the check-out counters shall have an area that is at least 36" wide and is no more than 34" above the floor. (Section 400.320(h))
3. Provide a door hardware schedule showing that all hardware does not require tight grasping or twisting to operate. (Section 400.310(j)(8))

ENERGY (2012 International Energy Conservation Code)

1. Indicate on the plans the U-factor of all new doors and windows in accordance with Table C402.3
2. Indicate on the plans that the restrooms, storage room and private office shall be provided with occupancy sensors which will turn off the lights not more than 30 minutes after vacancy. (Section C405.2.2.2)
3. Submit a COMcheck lighting compliance certificate showing that the remodel is compliant with the Energy Conservation Code.

MECHANICAL (2006 International Mechanical Code as amended)

1. Provide a ventilation schedule showing the amount of supply, return **and outdoor air**, provided to each space in accordance with Table 403.3.
2. Submit a system test and balance report to the Village prior to the final inspection.

ELECTRICAL (2008 National Electrical Code as amended)

1. Provide electric panel schedules showing all current and planned connected loads.

REVIEWED BY: Steve V Tisinai, M.C.P.

PLUMBING (2014 Illinois Plumbing Code)

Domestic Water Service: 1"

Number of Fixtures: 5

Number of Floor Drains: 6

Equipment: 3

1. Tempered hot water not to exceed 110 degrees to be supplied to all public lavatories.
2. Stack test required on all rough and underground plumbing.
3. 25 lb air test required on gas piping at time of rough inspection.
4. 75 lb air test or water pressure required on water piping at time of rough inspection.
5. All existing plumbing that may pose a health or safety hazard must be revised to meet Illinois Plumbing Code.
6. All new plumbing must meet Illinois Plumbing Code.
7. Drinking water to be supplied complying with the Illinois Plumbing Code and the Illinois Accessibility Code. The installation of a high/low water cooler is code compliant.
8. RPZ required on domestic water for all commercial buildings.
9. Isolation valves required on water pipe in accordance with the Illinois Plumbing Code Section 890.1190.
10. Revise drawings to indicate floor drain in cooler to comply with the Illinois Plumbing Code Section 890.1370.
11. All unused water piping to be capped within 2' of main (Illinois Plumbing Code Section 890.1200).

REVIEWED BY: Steve J. Tisinai, IL Licensed Plumber/IL Certified Plumbing Inspector

From: Anthony Rowe <[REDACTED]>
Sent: Wednesday, July 30, 2014 12:49 PM
To: Dean Lawrentz
Subject: 1301 Irving Park Road corrected plans
Attachments: 1301 Irving Park Road Com check 7-30-14.pdf; 1301 Irving Park Road Bensenville corrected plans 7-30-14.pdf

Hi Dean,

Please see attached plans with corrections. All corrections listed on sheet T-1, A-4, , M-4, and E-2.0



COMcheck Software Version 3.8.0

Envelope Compliance Certificate

2006 IECC

Section 1: Project Information

Project Type: **Addition**

Project Title : Interior alter. to build out mercantile space

Construction Site:

1301 Irving Park Road
Bensenville, IL

Owner/Agent:

Lenny
1301 Irving Park Road
Bensenville, IL

Designer/Contractor:

Ronald Garner
Group Design Associates
9725 S. Western
Chicago, IL

Section 2: General Information

Building Location (for weather data):

Bensenville, Illinois

Climate Zone:

5a

Vertical Glazing / Wall Area Pct.:

11%

Activity Type(s)

Retail

Floor Area

0

Section 3: Requirements Checklist

Envelope TBD: Invalid assembly type(s)

Climate-Specific Requirements:

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor(a)
Roof 1: Insulation Entirely Above Deck	1500	—	0.0	1.282	0.048
Exterior Wall 1: Steel-Framed, 24" o.c.	1440	0.0	0.0	0.338	0.077
Window 1: Metal Frame Curtain Wall/Storefront: Triple Pane with Low-E, Tinted, SHGC 0.25, PF 0.40	144	—	—	0.300	0.450
Door 1: Glass (> 50% glazing), Entrance Door, SHGC 0.25	21	—	—	0.300	1.200
Basement Wall 1: Click here to select Assembly, Light Density, Furring: None, Wall Ht 0.0, Depth B.G. 0.0	0	—	0.0	0.000	0.000
Floor 1: Slab-On-Grade: Unheated	1300	—	—	—	—

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

Air Leakage, Component Certification, and Vapor Retarder Requirements:

- ☐ 1. All joints and penetrations are caulked, gasketed or covered with a moisture vapor-permeable wrapping material installed in accordance with the manufacturer's installation instructions.
- ☐ 2. Windows, doors, and skylights certified as meeting leakage requirements.
- ☐ 3. Component R-values & U-factors labeled as certified.
- ☐ 4. No roof insulation is installed on a suspended ceiling with removable ceiling panels.
- ☐ 5. 'Other' components have supporting documentation for proposed U-Factors.
- ☐ 6. Insulation installed according to manufacturer's instructions, in substantial contact with the surface being insulated, and in a manner that achieves the rated R-value without compressing the insulation.
- ☐ 7. Stair, elevator shaft vents, and other outdoor air intake and exhaust openings in the building envelope are equipped with motorized dampers.
- ☐ 8. Cargo doors and loading dock doors are weather sealed.
- ☐ 9. Recessed lighting fixtures are: (i) Type IC rated and sealed or gasketed; or (ii) installed inside an appropriate air-tight assembly with a 0.5 inch clearance from combustible materials and with 3 inches clearance from insulation material.

-
- ☐ 10. Building entrance doors have a vestibule equipped with closing devices.
Exceptions:
- ☐ Building entrances with revolving doors.
 - ☐ Doors that open directly from a space less than 3000 sq. ft. in area.
- ☐ 11. Vapor retarder installed.



COMcheck Software Version 3.8.0

Interior Lighting Compliance Certificate

2006 IECC

Section 1: Project Information

Project Type: **Addition**

Project Title : Interior alter. to build out mercantile space

Construction Site:
1301 Irving Park Road
Bensenville, IL

Owner/Agent:
Lenny
1301 Irving Park Road
Bensenville, IL

Designer/Contractor:
Ronald Garner
Group Design Associates
9725 S. Western
Chicago, IL

Section 2: Interior Lighting and Power Calculation

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B x C)
Retail	0	1.5	0
Total Allowed Watts =			0

Section 3: Interior Lighting Fixture Schedule

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Retail				
Compact Fluorescent 1: Twin Tube 24/26/27W / Electronic	2	24	24	576
Total Proposed Watts =				576

Section 4: Requirements Checklist

Lighting Wattage:

- ☐ 1. Total proposed watts must be less than or equal to total allowed watts.

Allowed Watts	Proposed Watts	Complies
N/A	576	—

Controls, Switching, and Wiring:

- ☐ 2. Independent controls for each space (switch/occupancy sensor).

Exceptions:

- ☐ Areas designated as security or emergency areas that must be continuously illuminated.
- ☐ Lighting in stairways or corridors that are elements of the means of egress.
- ☐ 3. Master switch at entry to hotel/motel guest room.
- ☐ 4. Individual dwelling units separately metered.
- ☐ 5. Each space required to have a manual control also allows for reducing the connected lighting load by at least 50 percent by either controlling all luminaires, dual switching of alternate rows of luminaires, alternate luminaires, or alternate lamps, switching the middle lamp luminaires independently of other lamps, or switching each luminaire or each lamp.

Exceptions:

- ☐ Only one luminaire in space.

- ☐ An occupant-sensing device controls the area.
- ☐ The area is a corridor, storeroom, restroom, public lobby or sleeping unit.
- ☐ Areas that use less than 0.6 Watts/sq.ft.
- ☐ 6. Automatic lighting shutoff control in buildings larger than 5,000 sq.ft.

Exceptions:

- ☐ Sleeping units, patient care areas; and spaces where automatic shutoff would endanger safety or security.
- ☐ 7. Photocell/astonomical time switch on exterior lights.

Exceptions:

- ☐ Lighting intended for 24 hour use.
- ☐ 8. Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).

Exceptions:

- ☐ Electronic high-frequency ballasts; Luminaires on emergency circuits or with no available pair.

Interior Lighting TBD: Invalid building use area



COMcheck Software Version 3.8.0

Exterior Lighting Compliance Certificate

2006 IECC

Section 1: Project Information

Project Type: **Addition**

Project Title : Interior alter. to build out mercantile space

Construction Site:
1301 Irving Park Road
Bensenville, IL

Owner/Agent:
Lenny
1301 Irving Park Road
Bensenville, IL

Designer/Contractor:
Ronald Garner
Group Design Associates
9725 S. Western
Chicago, IL

Section 2: Exterior Lighting Area/Surface Power Calculation

A Exterior Area/Surface	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B x C)	F Proposed Watts
Main entry/exit	0 ft of door width	30	Yes	0	200
Total Tradable Watts* =				0	200
Total Allowed Watts =				0	
Total Allowed Supplemental Watts** =				0	

* Wattage tradeoffs are only allowed between tradable areas/surfaces.

** A supplemental allowance equal to 5% of total allowed wattage may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Section 3: Exterior Lighting Fixture Schedule

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Main entry/exit: Tradable Wattage				
Incandescent 1: Incandescent 100W	2	2	100	200
Total Tradable Proposed Watts =				200

Section 4: Requirements Checklist

Lighting Wattage:

- ☐ 1. Within each non-tradable area/surface, total proposed watts must be less than or equal to total allowed watts. Across all tradable areas/surfaces, total proposed watts must be less than or equal to total allowed watts.

Compliance: Invalid exterior use quantity

Controls, Switching, and Wiring:

- ☐ 2. All exemption claims are associated with fixtures that have a control device independent of the control of the nonexempt lighting.
- ☐ 3. All lighting fixtures are controlled by a photosensor or astronomical time switch that is capable of automatically turning off the fixture when sufficient daylight is available or the lighting is not required.

Exceptions:

- ☐ Covered vehicle entrance/exit areas requiring lighting for safety, security and eye adaptation.

Exterior Lighting Efficacy:

-
- ☐ 4. All exterior building grounds luminaires that operate at greater than 100W have minimum efficacy of 60 lumen/watt.

Exceptions:

- ☐ Controlled by motion sensor or exempt from consideration under the provisions of Section 505.6.2.

Exterior Lighting TBD: Invalid exterior use quantity



COMcheck Software Version 3.8.0

Mechanical Compliance Certificate

2006 IECC

Section 1: Project Information

Project Type: **Addition**

Project Title : Interior alter. to build out mercantile space

Construction Site:

1301 Irving Park Road
Bensenville, IL

Owner/Agent:

Lenny
1301 Irving Park Road
Bensenville, IL

Designer/Contractor:

Ronald Garner
Group Design Associates
9725 S. Western
Chicago, IL

Section 2: General Information

Building Location (for weather data):

Bensenville, Illinois

Climate Zone:

5a

Section 3: Mechanical Systems List

Quantity System Type & Description

- | | |
|---|--|
| 1 | HVAC System 1: Cooling: Cooling equipment (Rooftop Package Unit), Capacity 150 kBtu/h, Efficiency: 13.00 EER, Air-Cooled Condenser / Single Zone |
|---|--|

Section 4: Requirements Checklist

Requirements Specific To: HVAC System 1 :

- ☐ 1. Equipment minimum efficiency: Rooftop Package Unit: 9.7 EER
- ☐ 2. Cooling system provides a means to relieve excess outdoor air during economizer operation.
- ☐ 3. Integrated air economizer required

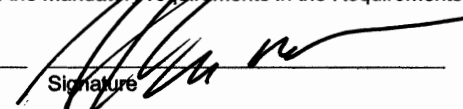
Generic Requirements: Must be met by all systems to which the requirement is applicable:

- ☐ 1. Load calculations per ASHRAE Fundamentals
- ☐ 2. Plant equipment and system capacity no greater than needed to meet loads
 - ☐ Exception: Standby equipment automatically off when primary system is operating
 - ☐ Exception: Multiple units controlled to sequence operation as a function of load
- ☐ 3. Minimum one temperature control device per system
- ☐ 4. Minimum one humidity control device per installed humidification/dehumidification system
- ☐ 5. Automatic Controls: Setback to 55°F (heat) and 85°F (cool); 7-day clock, 2-hour occupant override, 10-hour backup
 - ☐ Exception: Continuously operating zones
 - ☐ Exception: 2 kW demand or less, submit calculations
- ☐ 6. Outside-air source for ventilation; system capable of reducing OSA to required minimum
- ☐ 7. R-5 supply and return air duct insulation in unconditioned spaces
R-8 supply and return air duct insulation outside the building
R-8 insulation between ducts and the building exterior when ducts are part of a building assembly
 - ☐ Exception: Ducts located within equipment
 - ☐ Exception: Ducts with interior and exterior temperature difference not exceeding 15°F.
- ☐ 8. Mechanical fasteners and sealants used to connect ducts and air distribution equipment
- ☐ 9. Ducts sealed - longitudinal seams on rigid ducts; transverse seams on all ducts;
UL 181A or 181B tapes and mastics

- ☐ 10. Operation and maintenance manual provided to building owner
- ☐ 11. Balancing devices provided in accordance with IMC (2006) 603.17
- ☐ 12. Motorized, automatic shutoff dampers required on exhaust and outdoor air supply openings
 - ☐ Exception: Gravity dampers acceptable in buildings <3 stories
 - ☐ Exception: Gravity dampers acceptable in systems with outside or exhaust air flow rates less than 300 cfm where dampers are interlocked with fan
- ☐ 13. Exhaust air heat recovery included for systems 5,000 cfm or greater with more than 70% outside air fraction or specifically exempted
 - ☐ Exception: Systems serving spaces that are not cooled and heated to <60°F.
 - ☐ Exception: Commercial kitchen hoods (grease) classified as Type 1 by NFPA 96.
 - ☐ Exception: Systems exhausting toxic, flammable, paint, or corrosive fumes or dust.
 - ☐ Exception: Where the largest exhaust source is less than 75% of the design outdoor airflow.
 - ☐ Exception: Systems requiring dehumidification that employ energy recovery in series with the cooling coil.

Section 5: Compliance Statement

Compliance Statement: The proposed mechanical design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2006 IECC requirements in COMcheck Version 3.8.0 and to comply with the mandatory requirements in the Requirements Checklist.

Name	Title	Signature	Date
			2.30.14
	RONALD GARNER ARCHITECT		



COMcheck Software Version 3.8.0

Mechanical Requirements Description

2006 IECC

The following list provides more detailed descriptions of the requirements in Section 4 of the Mechanical Compliance Certificate.

Requirements Specific To: HVAC System 1 :

1. The specified heating and/or cooling equipment is covered by the ASHRAE 90.1 Code and must meet the following minimum efficiency:
Rooftop Package Unit: 9.7 EER
2. Cooling system provides a means to relieve excess outdoor air during economizer operation to prevent overpressurizing the building.
3. An integrated air economizer is required for individual cooling systems over 54 kBtu/h in the selected project location and allows simultaneous operation of outdoor-air and mechanical cooling.

Generic Requirements: Must be met by all systems to which the requirement is applicable:

1. Design heating and cooling loads for the building must be determined using procedures in the ASHRAE Handbook of Fundamentals or an approved equivalent calculation procedure.
2. All equipment and systems must be sized to be no greater than needed to meet calculated loads. A single piece of equipment providing both heating and cooling must satisfy this provision for one function with the capacity for the other function as small as possible, within available equipment options.
 - Exception: The equipment and/or system capacity may be greater than calculated loads for standby purposes. Standby equipment must be automatically controlled to be off when the primary equipment and/or system is operating.
 - Exception: Multiple units of the same equipment type whose combined capacities exceed the calculated load are allowed if they are provided with controls to sequence operation of the units as the load increases or decreases.
3. Each heating or cooling system serving a single zone must have its own temperature control device.
4. Each humidification system must have its own humidity control device.
5. The system or zone control must be a programmable thermostat or other automatic control meeting the following criteria:
 - a) capable of setting back temperature to 55°F during heating and setting up to 85°F during cooling,
 - b) capable of automatically setting back or shutting down systems during unoccupied hours using 7 different day schedules,
 - c) have an accessible 2-hour occupant override,
 - d) have a battery back-up capable of maintaining programmed settings for at least 10 hours without power.
 - Exception: A setback or shutoff control is not required on thermostats that control systems serving areas that operate continuously.
 - Exception: A setback or shutoff control is not required on systems with total energy demand of 2 kW (6,826 Btu/h) or less.
6. The system must supply outside ventilation air as required by Chapter 4 of the International Mechanical Code. If the ventilation system is designed to supply outdoor-air quantities exceeding minimum required levels, the system must be capable of reducing outdoor-air flow to the minimum required levels.
7. Air ducts must be insulated to the following levels:
 - a) Supply and return air ducts for conditioned air located in unconditioned spaces (spaces neither heated nor cooled) must be insulated with a minimum of R-5. Unconditioned spaces include attics, crawl spaces, unheated basements, and unheated garages.
 - b) Supply and return air ducts and plenums must be insulated to a minimum of R-8 when located outside the building.
 - c) When ducts are located within exterior components (e.g., floors or roofs), minimum R-8 insulation is required only between the duct and the building exterior.
 - Exception: Duct insulation is not required on ducts located within equipment.
 - Exception: Duct insulation is not required when the design temperature difference between the interior and exterior of the duct or plenum does not exceed 15°F.
8. Mechanical fasteners and seals, mastics, or gaskets must be used when connecting ducts to fans and other air distribution equipment, including multiple-zone terminal units.
9. All joints, longitudinal and transverse seams, and connections in ductwork must be securely sealed using weldments; mechanical fasteners with seals, gaskets, or mastics; mesh and mastic sealing systems; or tapes. Tapes and mastics must be listed and labeled in accordance with UL 181A and shall be marked '181A-P' for pressure sensitive tape, '181A-M' for mastic or '181A-H' for heat-sensitive tape. Tapes and mastics used to seal flexible air ducts and flexible air connectors shall comply with UL 181B and shall be marked '181B-FX' for pressure-sensitive tape or '181B-M' for mastic. Unlisted duct tape is not permitted as a sealant on any metal ducts.
10. Operation and maintenance documentation must be provided to the owner that includes at least the following information:
 - a) equipment capacity (input and output) and required maintenance actions

- b) equipment operation and maintenance manuals
 - c) HVAC system control maintenance and calibration information, including wiring diagrams, schematics, and control sequence descriptions; desired or field-determined set points must be permanently recorded on control drawings, at control devices, or, for digital control systems, in programming comments
 - d) complete narrative of how each system is intended to operate.
11. Balancing devices provided in accordance with IMC (2006) 603.17.
 12. Outdoor air supply and exhaust systems must have motorized dampers that automatically shut when the systems or spaces served are not in use. Dampers must be capable of automatically shutting off during preoccupancy building warm-up, cool-down, and setback, except when ventilation reduces energy costs (e.g., night purge) or when ventilation must be supplied to meet code requirements. Both outdoor air supply and exhaust air dampers must have a maximum leakage rate of 3 cfm/ft² at 1.0 in w.g. when tested in accordance with AMCA Standard 500.
 - Exception: Gravity (non-motorized) dampers are acceptable in buildings less than three stories in height.
 - Exception: Systems with a design outside air intake or exhaust capacity of 300 cfm (140 L/s) or less that are equipped with motor operated dampers that open and close when the unit is energized and de-energized, respectively.
 13. Individual fan systems with a design supply air capacity of 5000 cfm or greater and minimum outside air supply of 70% or greater of the supply air capacity must have an energy recovery system with at least a 50% effectiveness. If an air economizer is also required, heat recovery must be bypassed or controlled to permit air economizer operation.
 - Exception: Systems serving spaces that are not cooled and heated to <60°F.
 - Exception: Commercial kitchen hoods (grease) classified as Type 1 by NFPA 96.
 - Exception: Systems exhausting toxic, flammable, paint, or corrosive fumes or dust.
 - Exception: Where the largest exhaust source is less than 75% of the design outdoor airflow.
 - Exception: Systems requiring dehumidification that employ energy recovery in series with the cooling coil.

LOTS 3, 4, 5, 6, AND 7 IN BLOCK 40 IN THE FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, BEING A SUBDIVISION IN SECTIONS 10, 11, 14, AND 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926, AS DOCUMENT 213044, EXCEPT THAT PART OF LOT 3 TAKEN FOR ROADWAY PURPOSES BY THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION AS SHOWN AS PARCEL 0026 ON PLAT RECORDED MARCH 19, 1985, AS DOCUMENT R85-18882, AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 3: THENCE NORTH 88 DEGREES 23 MINUTES 55 SECONDS WEST ALONG THE SOUTH LINE OF LOT 3, A DISTANCE OF 10.00 FEET; THENCE NORTH 46 DEGREES 43 MINUTES 13 SECONDS EAST, 14.17 FEET TO THE EAST LINE OF LOT 3; THENCE SOUTH 01 DEGREE 50 MINUTES 22 SECONDS WEST ALONG THE EAST LINE OF LOT 3, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING, IN DuPAGE COUNTY, ILLINOIS.

W. IRVING PARK ROAD
(100 FT. R.O.W.)

SPRUCE AVENUE
(66 FT. R.O.W.)

1 STORY BLOCK & STUCCO BUILDING

CANOPY

DIESEL PUMPS ON CONCRETE BASE

EXCEPTION PER DOC. R85-18882

VACATED 20 FT. ALLEY

RETAINING WALLS AND FENCES:
 - CORNER OF BLOCK RETAINING WALL 10.2 N.
 - CORNER OF BLOCK RETAINING WALL 8.1 N.
 - CENTER OF WOOD FENCE 10.8 N.
 - CORNER OF BLOCK RETAINING WALL 1.8 E. & 5.9 N.
 - CORNER OF BLOCK RETAINING WALL 9.5 N.
 - CENTER OF WOOD FENCE 15.1 N.
 - CENTER OF WOOD FENCE 10.7 N.
 - CORNER OF BLOCK RETAINING WALL 10.8 N.
 - CORNER OF BLOCK RETAINING WALL 10.3 N.
 - CORNER OF BLOCK RETAINING WALL 5.1 N.
 - CORNER OF BLOCK RETAINING WALL 10.7 N.
 - CENTER OF WOOD FENCE 16.0 N. & 0.3 E.
 - CORNER OF BLOCK RETAINING WALL 8.6 N. & 0.6 E.

Dimensions and Bearings:
 - Top boundary: S 88°23'55" E, 125.00 (Rec. & Meas.)
 - Left boundary: N 01°50'22" E, 125.00 (Rec. & Meas.)
 - Right boundary: S 01°50'22" W, 115.00 (Rec. & Meas.)
 - Bottom boundary: N 88°23'55" W, 115.00 (Rec. & Meas.)
 - Internal dimensions: 25.00, 25.00, 25.00, 25.00, 25.00, 29.08, 49.10, 59.99, 49.25, 60.05, 69.06, 69.32, 15.81, 14.17, 10.00, 15.00, 10.00.

Other Features:
 - ASPHALT
 - CONCRETE
 - CURB
 - MERCHANT SIGN
 - FOUND IRON PIPE
 - POINT OF BEGINNING OF EXCEPTION SE CORNER OF LOT 3

- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO INTERPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.



METAL COLUMN FOR CANOPY
(TYPICAL)

GAS PUMP ON CONCRETE BASE
(TYPICAL)

CONCRETE GUARD RAIL
(TYPICAL)

CONCRETE

PUMP DETAIL
(NOT TO SCALE)

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

SURVEY ORDERED BY: EFFECTIVE DESIGN CONSULTING, L.L.C.

I, MICHAEL J. LOPEZ, AS AN EMPLOYEE OF PREFERRED SURVEY INC., DO HEREBY STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT AGREEMENT. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

GIVEN UNDER MY HAND AND SEAL THIS
20TH DAY OF MARCH A.D. 2014

MY LICENSE EXPIRES ON 11/30/14

P.S.I. NO. 4103298

Professional Design Registration #184-002795

PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL. 60455
Phone 708-458-7845 / Fax 708-458-7855

www.psdsurvey.com

Field Work Completed	03/19/14	FLD CREW:	CD/CZ
Land Area Surveyed	15,574.6 Sq. Ft.	CAD:	SR
Drawing Revised			

Project Data Legend

CODE:	BUILDING	2003 INTERNATIONAL BUILDING CODE
	MECHANICAL	2003 INTERNATIONAL MECHANICAL CODE
	PLUMBING	2004 ILLINOIS PLUMBING CODE
	ELECTRICAL	2005 NATIONAL ELECTRICAL CODE
	FIRE	2006 INTERNATIONAL FIRE CODE
	ACCESS.	1997 ILLINOIS ACCESSIBILITY CODE
PREVIOUS OCCUPANT USE: NOT APPLICABLE		
USE CLASSIFICATION:	"M"	MERCANTILE
TYPE OF CONSTRUCTION:	TYPE III-B - NON-SPRINKLERED -	EXISTING BUILDING
TENANT SPACE:	GAS STATION= 1,409 S.F.	
OCCUPANCY LOAD FOR EGRESS:	OCCUPANTS	
SPACE A: 1,409 S.F. @ 30 S.F. = 46		
EXTING: NUMBER OF EXITS REQUIRED: 2	EXIT WIDTH REQUIRED: 32"	
NUMBER OF EXITS PROVIDED: 2	EXIT WIDTH PROVIDED: 72"	
FIRE-RESISTANCE RATINGS:	CONSTRUCTION	REQUIRED RATING
EXTERIOR LOADBEARING WALLS	EXIST.	-
EXTERIOR NONLOADBEARING WALLS	EXIST.	-
FIRE WALL	NA	-
NONLOADBEARING PARTITIONS	NEW	0 HR
INTERIOR BEARING WALLS	NA	-
BEAMS & COLUMNS	EXIST.	-
ROOF CONSTRUCTION	EXIST.	-
FIRE BARRIER - TENANT WALL	NA	-
STAIRS (NON-COMBUSTIBLE)	NA	-
VERTICAL ENCLOSURES	NA	-
CORRIDORS	NA	-
FLOORS	NA	-
ELEVATOR SHAFT	NA	-
ELEVATOR EQUIPMENT-WALL	NA	-
ELEVATOR EQUIPMENT-CEILING	NA	-
INTERIOR WALL & CEILING FINISHES=CLASS B-FRAME SPREAD 26-75 ; SMOKE DEVELOPED 0-450		

1301 W. IRVING PARK ROAD
BENSENVILLE, ILLINOIS
INTERIOR ALTERATIONS TO REMODEL EXTG.
GAS STATION CAR REPAIR BAYS INTO
MERCANTILE SPACE & SOUTH ELEVATION
FAÇADE REMODEL.

Ronald Garner, L.A.
Lic# 001-011805



SCOPE DOCUMENT

THESE DRAWINGS AND SPECIFICATIONS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. AS SCOPE DOCUMENTS THESE DRAWINGS AND SPECIFICATIONS DO NOT NECESSARILY INDICATED OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISIONS OF THE ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENT SHALL BE FINAL.

LIMITATION OF WARRANTY OF ARCHITECT/ENGINEER WORK PRODUCT

THE ARCHITECT AND HIS CONSULTANTS DO NOT WARRANTY OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK PRODUCT HEREIN (DRAWINGS, ENGINEERING, SPECIFICATIONS AND REVIEW OF SHOP DRAWINGS) BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKE, OMISSIONS OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK PRODUCT, THE ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS ARE NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THE ARCHITECT FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE, ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND/OR CONSENT OF THE ARCHITECT OR IN CONTRADICTION TO THE ARCHITECT'S WORK PRODUCT OR RECOMMENDATIONS SHALL NOT BE THE RESPONSIBILITY OF THE ARCHITECT.

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I certify that I am a Registered Energy Professional (REP) and I also certify that to the best of my professional knowledge and belief that the attached plans for:

Comply with the requirements of Chapter 15-13, Energy Conservation, of the Municipal Code of Chicago, effective April 22, 2009.



Signature

Date

MANDATORY NOTE:

THESE DRAWINGS, DESIGNS, SPECIFICATIONS, IDEAS, AND THE ARRANGEMENTS REPRESENTED HERE ARE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER AND OR THE ARCHITECT, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN THE CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER AND OR THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OR

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DESIGNED BY:
ANTHONY ROW
FILE NO.:
773-726-1632
SHEET TITLE:
COVER
SHEET
DRAWN BY:
A.R.
CHECKED BY:
REG
APPROVED BY:
REG
SHEET OF

DESCRIPTION OF WORK:
INT. ALT.
TO BUILD-OUT
MERCANTILE
SPACE.

PROJECT NO.:
001-011805
SUBJECT SITE:
LIC#

1.) Contractor and Owner shall submit a separate set of plans for all modifications to the existing fire alarm system. The Owner and contractor shall also submit a separate set of plans for the sprinkler system per section 106.1.1. These aforementioned systems shall be separately permitted.
2. These plans and work at the subject property shall conform to the following applicable codes and ordinances as adopted by the Village of Bensenville.
- 2006 International Building Code
 - 2006 International Mechanical Code
 - 2006 International Fuel Gas code
 - 1997 Illinois accessibility code
 - 2014 Illinois plumbing code
 - 2008 National electrical code
3. All means of egress, including area of discharge shall be provided with emergency lighting. The loss of any one bulb shall not leave the area in total darkness. The exterior emergency lighting shall dual-head configuration per section 1006.
4. All self-service counters and check-out counter shall have an area of the counter that shall be 5' in length and 34" above the floor per section 400.320(h).
5. All door hardware shall not require tight grasping or twisting to operate. The door hardware shall be lever action or panic bar type per section 400.310(j)(8)).
6. All door and window glass shall conform in accordance to the U factor in table C402.3.
7. All restrooms, storage rooms and private offices shall be provided with occupancy sensors that turn the lights off not more than 30 minutes after vacancy. Per section C405.2.2.2.
8. The contractor shall submit a system test on the HVAC and balance report to the village prior to final inspection.



001-011805

GDA

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ARCHITECTS & ENGINEERS
1100 N. WILSON AVENUE, SUITE 100
IRVING, ILLINOIS 60141
TEL: 630-261-1234
WWW.GROUPDESIGNASSOCIATES.COM

OWNER INFO:

SITE DATA:

1301
IRVING, PH.
BENSenville
ILL.

DESCRIPTION OF WORK:

INT. MECH.
TO BUILD
OUT.
MECHANICAL
SPACE.

DESCRIPTION: DATE:

DWG SUBMITTAL 7.30.14

DESIGNED BY:

A.R.

SHEET TITLE:
CORRECTIVE
NOTES,



DRAWN BY: A.R.

CHECKED BY: REG

T-2

APPROVED BY: REG

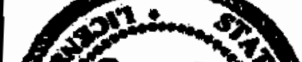
SHEET NO. 1 OF 1

ABBREVIATIONS

MATERIALS & SYMBOLS

MATERIALS & SYMBOLS

NO.	NOTE INDICATOR	NO.	DOOR/OPENING IDENTIFIER
NO.	REVISION INDICATOR	NO.	WINDOW IDENTIFIER
NO.	COLUMN LINE OR GRID INDICATOR	NO.	WALL TYPE IDENTIFIER
DWG	MATCH LINE (DWG = DRAWING NUMBER FOR CONTINUATION)	NO.	CENTERLINES
DWG	DETAIL INDICATOR	NO.	PROPERTY LINES
NO./DWG	SECTION INDICATOR	NO.	HIDDEN, FUTURE, OR EXISTING CONSTRUCTION
NO./DWG	ELEVATION VIEW INDICATOR	NO.	BREAK LINE
NO.	ROOM IDENTIFIER	NO.	10'-0"
ROOM NAME		NO.	8"
		NO.	HATCH MARK
		NO.	EXISTING PARTITION/WALL
		NO.	NEW PARTITION/WALL
		NO.	NEW CONSTRUCTION
		NO.	DEMOLITION

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<p>LIC # _____ DBL-011805</p>	
<p>SUBJECT SITE: 1301 W. PK. IRVING PK.</p>	
<p>SCORE OF WORK: _____</p>	
<p>DESIGNED BY: ANTHONY ROM</p>	
<p>773-726-1632</p>	
<p>FILE NO.: _____</p>	
<p>SHEET TITLE: ABBREVIATIVE NOTES SYMBOLS.</p>	<p>DRAWN BY: A.R. CHECKED BY: REG APPROVED BY: G-7</p>
<p>SHEET NO. _____</p>	

GENERAL NOTES

FIRE-RESISTANT RATED CONSTRUCTION

- 1. ALL WALL PENETRATIONS SHALL BE SEALED W/ 'ZERO' FIRESPREAD CAULK.
- 2. PROVIDE AN APPROVED FIRE DAMPER IN ALL DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE BARRIER.

MEANS OF EGRESS

- 1. ALL EMERGENCY LIGHTS AND EXIT SIGNS SHALL BE EQUIPPED W/A BATTERY BACK-UP CAPABLE OF CARRYING LOAD FOR 1- 1/2 HOURS MINIMUM.

ROOF ASSEMBLIES AND ROOFTOP STRUCTURES

- 1. SUBMIT VERIFICATION THAT THE PROPOSED ROOF COVERING HAS BEEN LISTED AND IDENTIFIED AS CLASS C BY AN APPROVED TESTING AGENCY

STRUCTURAL TESTS AND SPECIAL INSPECTIONS

NOTE: THE DESIGN PROF. SHALL HAVE AN APPROVED AGENCY VERIFY LISTED MATERIALS & SPECS FOR ALL MATERIALS FABRICATED & FOR CONCRETE, MASONRY & SOIL CONDITIONS.

MECHANICAL

- 1. ALL EQUIPMENT MUST BEAR THE LABEL OF AN APPROVED INSPECTION AGENCY
- 2. ALL CONDENSATE FROM FUEL BURNING APPLIANCES SHALL BE DISPOSED INTO A FLOOR DRAIN.
- 3. ALL VENTILATION SHALL COMPLY W/I.C.B.O. & TABLE 403.3.

GLAZING

- 1. ALL GLAZING SHALL BEAR THE BELOW LISTED MARKINGS:

ABC GLASS CO.-----COMPANY NAME OR IDENTIFICATION
TEMPERED SAFETY GLASS-----TYPE OF SAFETY GLAZING
16 CFR 1201-II-----INDICATES COMPLIANCE W/STANDARD & CATEGORY (c)
ANSI Z97.1-1984-----INDICATES COMPLIANCE W/STANDARD
SGCC-1234-----SGCC IDENTIFICATION NUMBER
1/2"-U-----NOMINAL THICKNESS & SIZE (b)

NOTES:

- (a) "I" AFTER "16 CFR 1201" INDICATES SIZES 9 SQ. FT. AND LESS ARE COVERED;
- (b) "II" INDICATES ALL SIZES ARE COVERED.
- (c) "U" INDICATES ALL SIZES ARE COVERED. "I" INDICATES ONLY SIZES LISTED BY SGCC ARE COVERED.
- (c) NUMBERS OR LETTERS FOR DATE COOING AND PLANT IDENTIFICATION MAY ALSO BE INCLUDED.

ACCESSIBILITY

- 1. THE BATHROOM SHALL MEET ALL THE ILLINOIS ACCESSIBILITY STANDARDS (levered door handles and faucets, grab bars, five-foot turning radius, etc.). (ANSI Sections 4.22.2, 4.13 and figures).

ELECTRICAL

- 1. ALL ELECTRICAL OUTLETS SHALL BE GFI IN THE BATHROOMS. (NFPA 70, NATIONAL ELECTRICAL CODE (NEC)/2002 210.8 (B)(1))
- 2. ALL RECEPTACLES FOR ROOFTOP UNITS SHALL BE GFI. (NEC/2002 210.8 (B)(2))
- 3. ELECTRICAL BOXES AND/OR CONDUIT INSTALLED IN SUSPENDED CEILINGS MUST NOT EXCEED 100 CUBIC INCHES IN SIZE, AND THEY MUST EITHER BE FASTENED TO FRAMING MEMBERS BY BOLTS, SCREWS, RIVETS, OR APPROVED CLIPS, OR SECURED TO CEILING SUPPORT WIRES BY AN APPROVED METHOD. (NEC/2002 314.23(D)) THE WALLS CANNOT BE SECURED TO THE CEILING GRID. THE WALLS NEED TO BE SECURED TO THE STRUCTURAL STEEL. (IBC/2003

- 4. A CONVENIENCE OUTLET IS REQUIRED OVER DISPLAY WINDOWS. (NEC/2002 210.62)
- 5. ALL EMERGENCY AND EXIT LIGHTS WILL BE VERIFIED IN THE FIELD.
- ALL EMERGENCY AND EXIT LIGHTS SHALL BE EQUIPPED WITH A BATTERY BACK-UP CAPABLE OF CARRYING LOAD FOR 90 MINUTES MINIMUM. (PLEASE PROVIDE THE CUT-SHEETS FOR BOTH THE EMERGENCY LIGHT AND EXIT LIGHT BATTERY BACK-UP SYSTEMS.)
- ALL EXTERNALLY ILLUMINATED EXIT SIGNS SHALL HAVE LETTERS AT LEAST SIX(6) INCHES HIGH AND THE MIN. WIDTH OF EA. STROKE SHALL BE 3/4" THE WORD "EXIT" SHALL BE IN HIGH CONTRAST WITH THE BACKGROUND. (IBC/2003 1006 & 1011)
- 6. EVERY ELECTRICAL PANEL SHALL BE PROVIDED WITH A CLEAR WORKING SPACE IN ACCORDANCE WITH THE FOLLOWING (NEC/2002 110.26):

REQUIRED WORKING SPACE FOR ELECTRICAL EQUIPMENT

NOMINAL VOLTAGE TO GROUND		MINIMUM CLEAR DISTANCE	
0-150	CONDITION 1	CONDITION 2	CONDITION 3
	900 mm (3ft)	900 mm (3ft)	900 mm (3ft)
151-600	900 mm (3ft)	1 m (3 1/2 ft)	1.2 m (4 ft)

NOTE: WHERE THE CONDITIONS ARE AS FOLLOWS:

CONDITION 1-EXPOSED LIVE PARTS ON ONE SIDE AND NO LIVE OR GROUNDED PARTS ON THE OTHER SIDE OF THE WORKING SPACE, OR EXPOSED LIVE PARTS ON BOTH SIDES EFFECTIVELY GUARDED BY SUITABLE WOOD OR OTHER INSULATING MATERIALS. INSULATED WIRE OR INSULATED BUSBARS OPERATING AT NOT OVER 300 VOLTS TO GROUND SHALL NOT BE CONSIDERED LIVE PARTS.

CONDITION 2-EXPOSED LIVE PARTS ON ONE SIDE AND GROUNDED PARTS ON THE OTHER SIDE. CONCRETE BRICK, ON TILE WALLS SHALL BE CONSIDERED AS GROUNDED.

CONDITION 3-EXPOSED LIVE PARTS ON BOTH SIDES OF THE WORK SPACE (NOT GUARDED AS PROVIDED IN CONDITION 1) WITH THE OPERATOR BETWEEN. ADDITIONALLY, FOR EQUIPMENT RATED 1200 AMPERES OR MORE AND OVER 1.8m(6ft) WIDE THAT CONTAINS OVERCURRENT DEVICES, SWITCHING DEVICES, THERE SHALL BE ONE ENTRANCE TO THE REQUIRED WORKING SPACE NOT LESS THAN 610 mm(24 in.) WIDE AND 2.0m(6 1/2 ft) HIGH AT EA. END OF THE WORKING SPACE. WHERE THE ENTRANCE HAS A PERSONNEL DOOR(S), THE DOOR(S) SHALL OPEN IN THE DIRECTION OF EGRESS AND BE EQUIPPED WITH PANIC BARS, PRESSURE PLATES, OR OTHER DEVICES THAT ARE NORMALLY LATCHED BUT OPEN UNDER SIMPLE PRESSURE.

A SINGLE ENTRANCE TO THE REQUIRED WORKING SPACE SHALL BE PERMITTED WHERE EITHER OF THE CONDITIONS IN 110.26 (C) (2) (a) or (b) IS MET (a) UNOBSTRUCTED EXIT WHERE THE LOCATION PERMITS A CONTINUOUS AND UNOBSTRUCTED WAY OF THE EXIT TRAVEL, A SINGLE ENTRANCE TO THE WORKING SPACE SHALL BE PERMITTED. (b) EXTRA WORKING SPACE, WHERE THE DEPTH OF THE WORKING SPACE IS TWICE THAT REQUIRED BY 110.26(a), A SINGLE ENTRANCE SHALL BE PERMITTED. IT SHALL BE LOCATED SO THAT THE DISTANCE FROM THE EQUIPMENT TO THE NEAREST EDGE OF THE ENTRANCE IS NOT LESS THAN THE MINIMUM CLEAR DISTANCE SPECIFIED IN TABLE 110.26(A)(1) FOR EQUIPMENT OPERATING AT THE VOLTAGE AND IN THAT CONDITION.

7. NO STOCK SHALL BE ON THE PROPERTY UNTIL A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED BY THE BUILDING OFFICIAL. ALL WORK SHALL BE 99% COMPLETE BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE ISSUED.

8. ALL WIRING (electrical, phone, alarms, detection, etc.) INSTALLED IN DUCTS, PLENUMS, OR OTHER SPACES USED FOR ENVIRONMENTAL AIR SHALL BE INSTALLED IN PLENUM RATED CABLE OR IN CONDUIT NO WIRING SYSTEMS OF ANY KIND ARE PERMITTED IN DUCTS CONVEYING DUST, LOOSE STOCK, OR FLAMMABLE VAPORS. NO WIRING SYSTEMS OF ANY KIND ARE PERMITTED IN DUCTS CONVEYING DUST, LOOSE STOCK, OR FLAMMABLE VAPORS. NO WIRING SYSTEMS OF ANY KIND ARE PERMITTED IN DUCTS OR SHAFTS CONTAINING ONLY SUCH DUCTS, USED FOR VAPOR REMOVAL OR FOR VENTILATION OF COMMERCIAL-TYPE COOKING EQUIPMENT (NEC/2002 300.22)

GENERAL CONDITIONS

- 1. SPECIAL INSPECTIONS ARE REQUIRED FOR FABRICATORS, STEEL, CONCRETE, MASONRY, SOIL, SPRAYED FIRE-RESISTANT MATERIALS, EXTERIOR INSULATION AND FINISH SYSTEMS, AND SMOKE CONTROL SYSTEMS. A COMPANY OR SPECIAL INSPECTOR SHALL BE CHOSEN BEFORE THE JOB BEGINS.

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Chicago, IL 60619
(312) 446-2599 cell
(800) 383-3503 extx
gda@groupdesignassociates.com



LIC.#

021-011805

SUBJECT SITE:
1301 W. IRLING PK.

SCORE OF WORK:

DESIGNED BY:
ANTHONY ROWE

773-726-1632

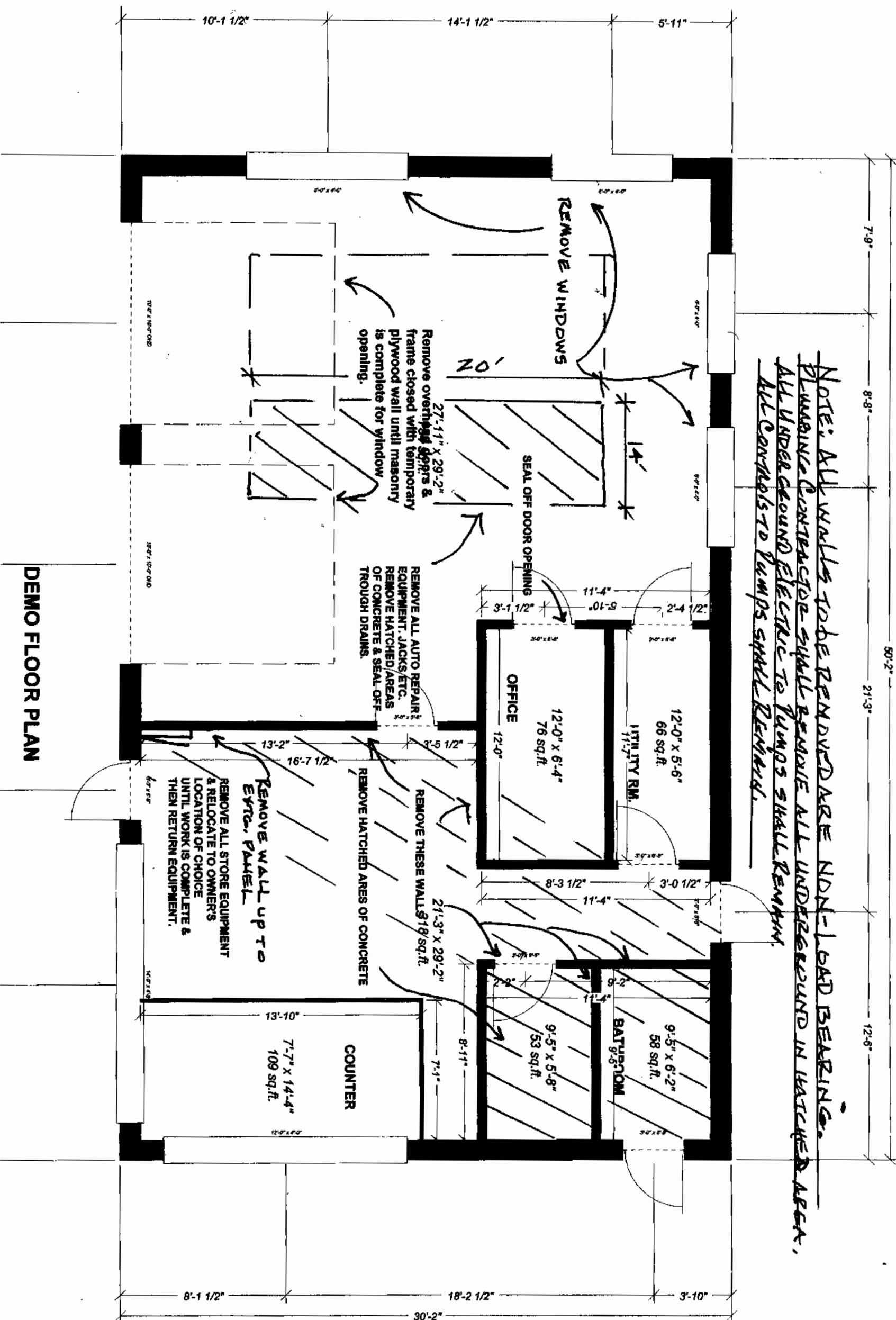
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SHEET TITLE:
GEN.

NOTES
CENT'D

DRAWN BY: SHEET NO.
A.R.
CHECKED BY: G-2
APPROVED BY: REG. QUART. OF

NOTE: ALL WALLS TO BE REMOVED ARE NON-LOAD BEARING.
PLUMBING CONTRACTOR SHALL REMOVE ALL UNDERGROUND IN HATCHED AREA,
ALL UNDERGROUND ELECTRIC TO PUMPS SHALL REMAIN.
ALL CONCRETS TO PUMPS SHALL REMAIN.



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Chicago, IL 60619
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gda@designassociates.com



LIC #

001-011805

SUBJECT SITE:
1301 W.
IRVING
PARK.

SCOPE OF WORK:

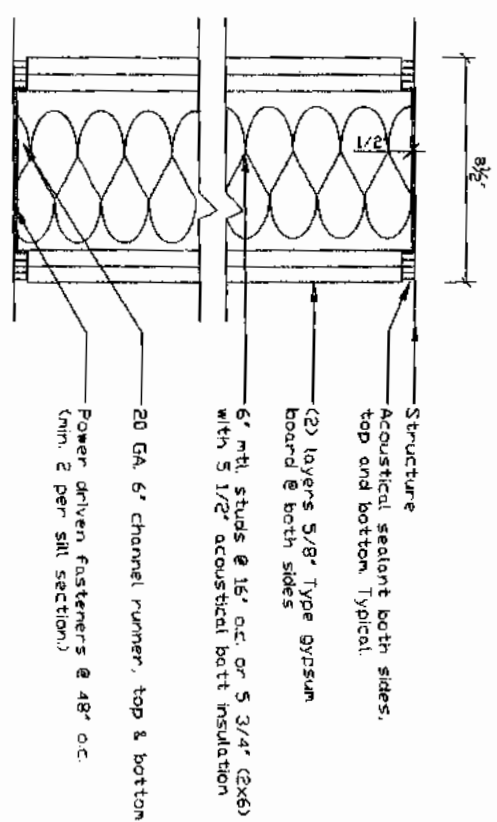
INT. ALT.
FOR DEMO
TO BUILD-
OUT
MERCANTILE
SPACE.

DESIGNED BY:
A. ROWE

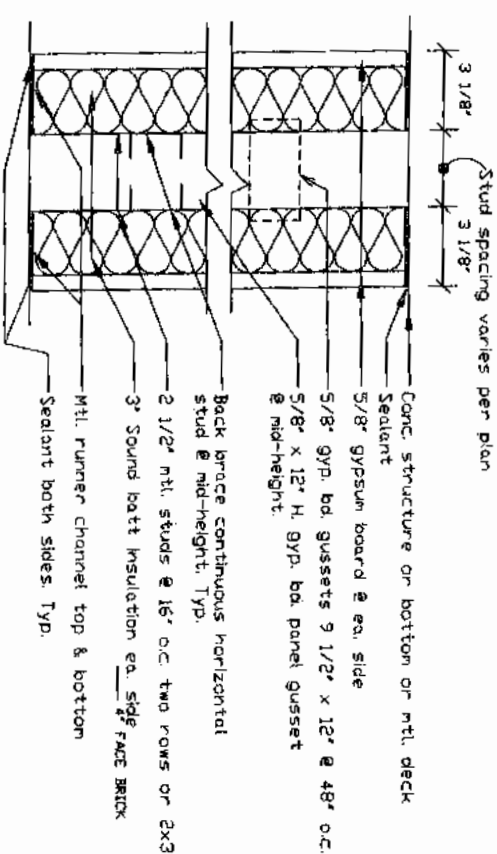
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SHEET TITLE:
DEMO
PLAN

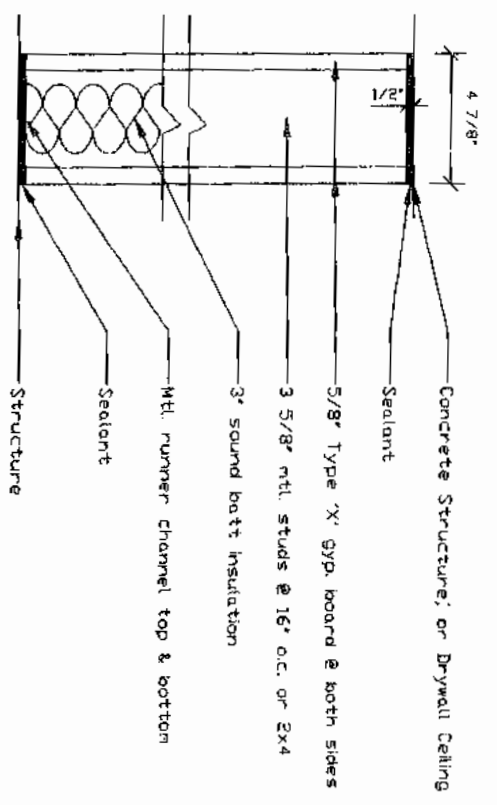
DRAWN BY: A.R.
CHECKED BY: REG
APPROVED BY: REG
SHEET NO. D-1
SHEET OF



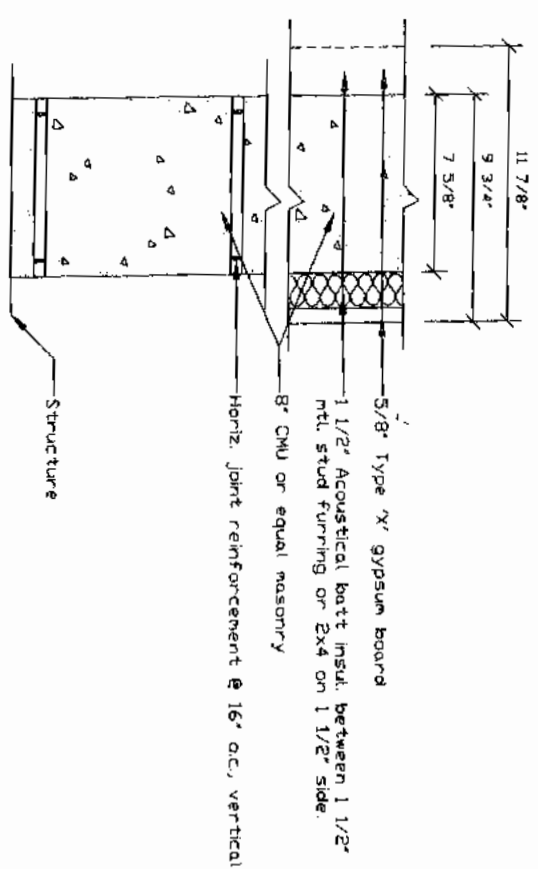
A 2 HR RATED DEMISING WALL W/SOUND ATTENUATION U412. TYP.



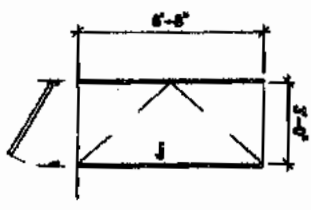
C 2 HR U420. TYP. PLUMB/MECH. CHASE. TYP.



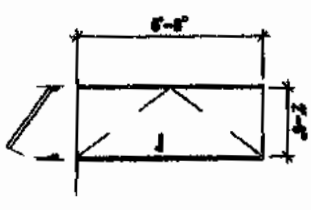
B 1 HR RATED U465. PARTITION WALL. TYP.



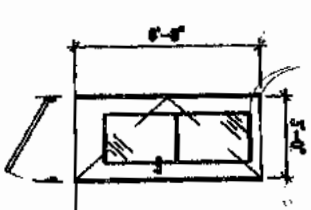
D US95 2 HR RATED CMU WALL. TYP.



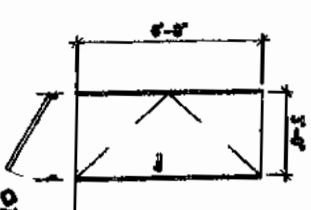
A 3'-0" X 6'-8" SOLID CORE



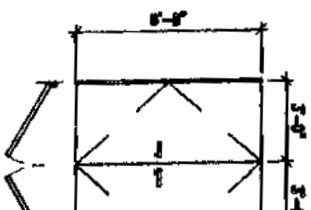
B 2'-4" X 6'-8" HOLLOW CORE



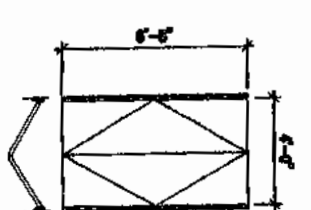
C 3'-0" X 6'-8" GLASS DOOR



D 3'-0" X 6'-8" CLASS "B" H.M.



E 6'-0" X 6'-8" CLASS "B"



F 4'-0" X 6'-8" BI-FOLD DOOR

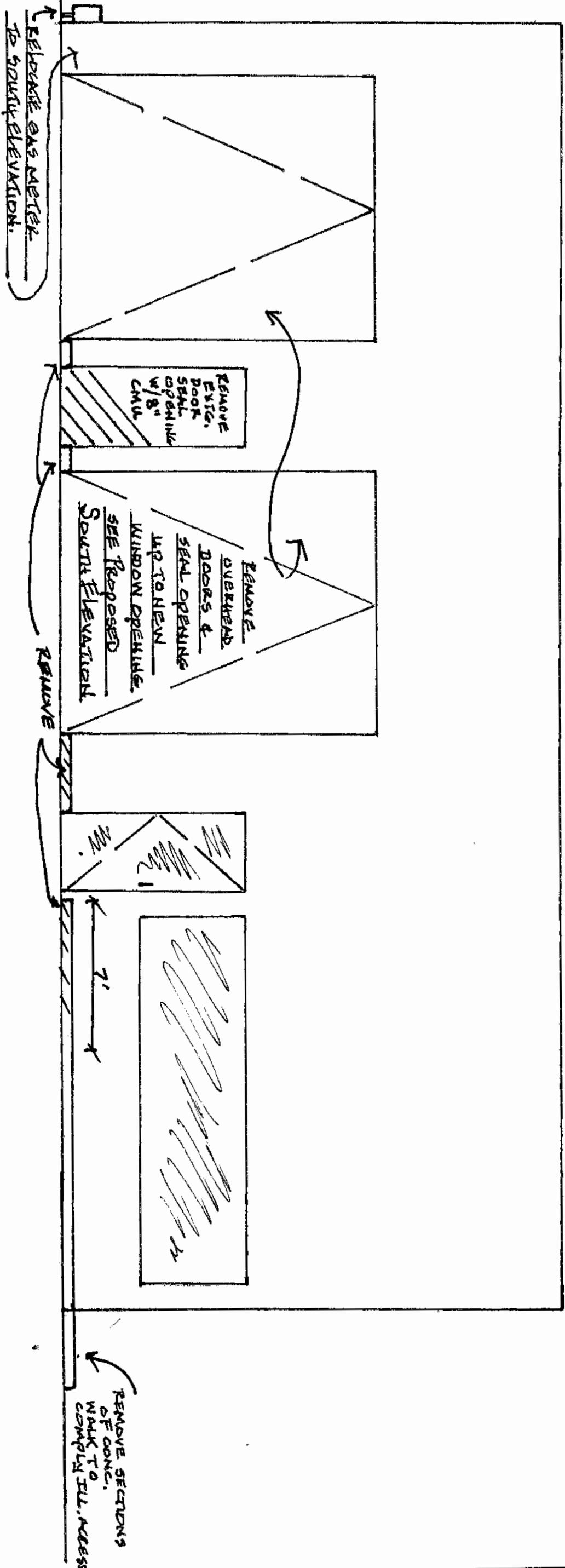


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Chicago, IL 60619
(312) 446-2509 cell
(800) 383-3603 fax
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SUBJECT: 1301 W. IRVING PK.
SCOPE OF WORK:

DESIGNED BY: ANTHONY ROWE
773-726-1632
FILE NO.:
SHEET TITLE: U.I.L. WALL Assembly
DRAWN BY: SHEET NO.:
CHECKED BY: A-D
REG:
APPROVED BY: SHEET OF

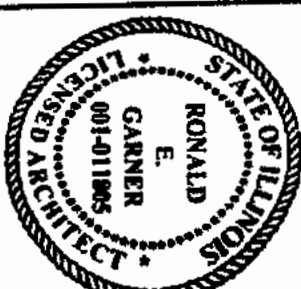
49'2"



EXISTING SOUTH ELEVATION - SCALE: 1/4" = 1'

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Chicago, IL 60619
(312) 446-2599 call
(800) 383-3603 efax
groupdesignassociates@gmail.com



LIC #

001-011805

SUBJECT SITE:
1301 W. PK.
IRVING PK.
ROAD

SCOPE OF WORK:
INTER, ALT.
TO BUILD-
OUT
MERCANTILE
SPACE,

DESIGNED BY:
A. POWE

FILE NO.:

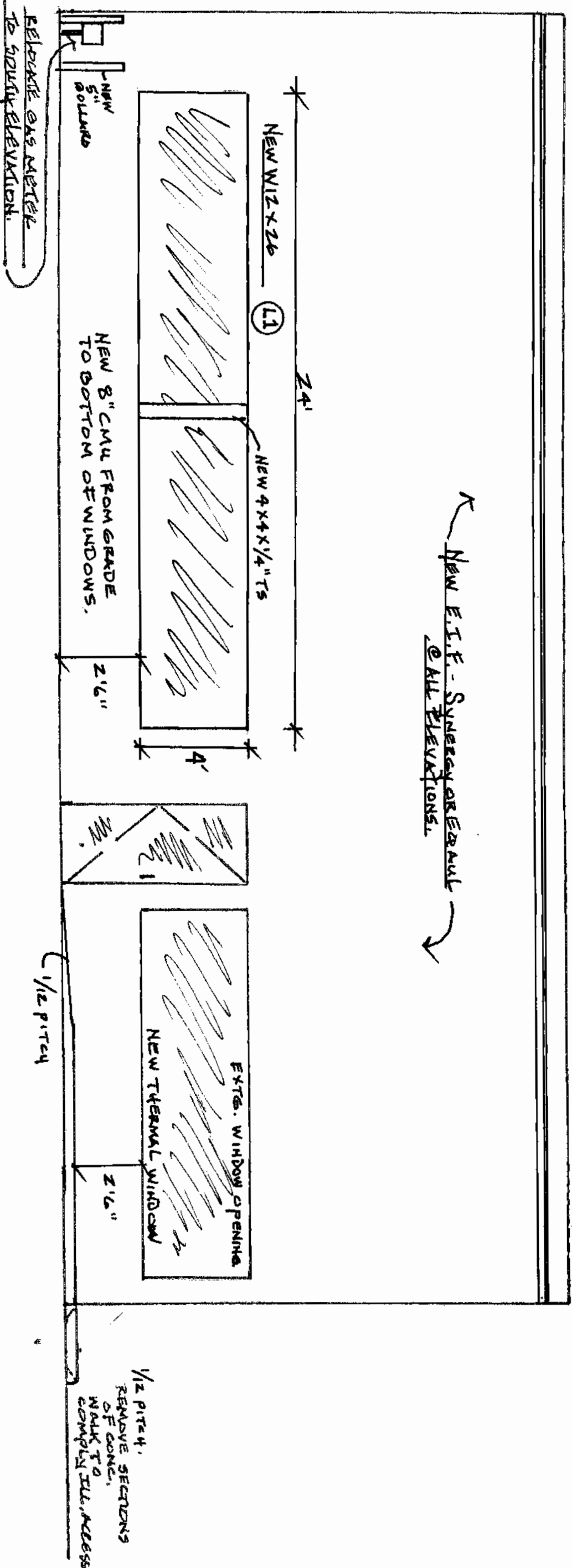
SHEET TITLE:
EXISTG.
SOUTH
ELEV.

DRAWN BY: A.R.
CHECKED BY: A.R.
APPROVED BY: A-1

SHEET OF

49'2"

NEW E.I.F. - SYNERGY OR EQUIV.
@ ALL ELEVATIONS.



PROPOSED - SOUTH ELEVATION - SCALE: 1/4" = 1'



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Chicago, IL 60619
(312) 446-2599 cell
(800) 383-3603 fax
gda@designassociatesgdm.com

LIC #
001-011805

SUBJECT SITE:
1301 W. IRVING PK.
ROAD

SCOPE OF WORK:
INTER. ALT.
TO BUILD-
OUT
MERCANTILE
SPACE,

DESIGNED BY:
A. Rowe

FILE NO.:

SHEET TITLE:
PROPOSED
SOUTH
ELEV.

DRAWN BY:
A.R.
SHEET NO.

CHECKED BY:
REG
A-2

APPROVED BY:
REG
SHEET OF

NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	REMARK'S
101	SALES	CARPET	4" VINYL STRAIGHT	GYPSUM BOARD	8'-0"		
102	DISPLAY	VINYL TILE	4" VINYL COVE	CONCRETE BLOCK	8'-8"		
103	COOLER	CERAMIC TILE - NON SLIP	CERAMIC TILE	CERAMIC TILE - WAINSCOT	9'-0"		
104	UTILITY	QUARRY TILE - NON SLIP	4" QUARRY TILE W/COVE	FRP - AT EXPOSED SURFACES	10'-0'		
105	OFFICE	PAINTED PLYWOOD	WOOD BASE - OAK	EPOXY PAINT (WASHABLE)	11'-0"		
106	MEN	POLYMER FLOOR-SEE NOTE	COVED EPOXY	EXISTING CONSTRUCTION	EXISTING - 16'-0"		
107	WOMEN	EPOXY PAINTED CONCRETE		PAINT			
				SUSPENDED ACOUSTICAL TILE			
				SCRUBBABLE SUSP. ACOUSTICAL TILE			
				TYPE "X" GYPSUM WALLBOARD			
				EXPOSED CONSTRUCTION			
				EXISTING CONSTRUCTION			
				PAINT			

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groupdesign@nasa.gov



001-011805

1301 W. HIRVING PK.
ROAD

INTER, ALT,
TO BUILD-
OUT
MECAN TILE
SPACE,

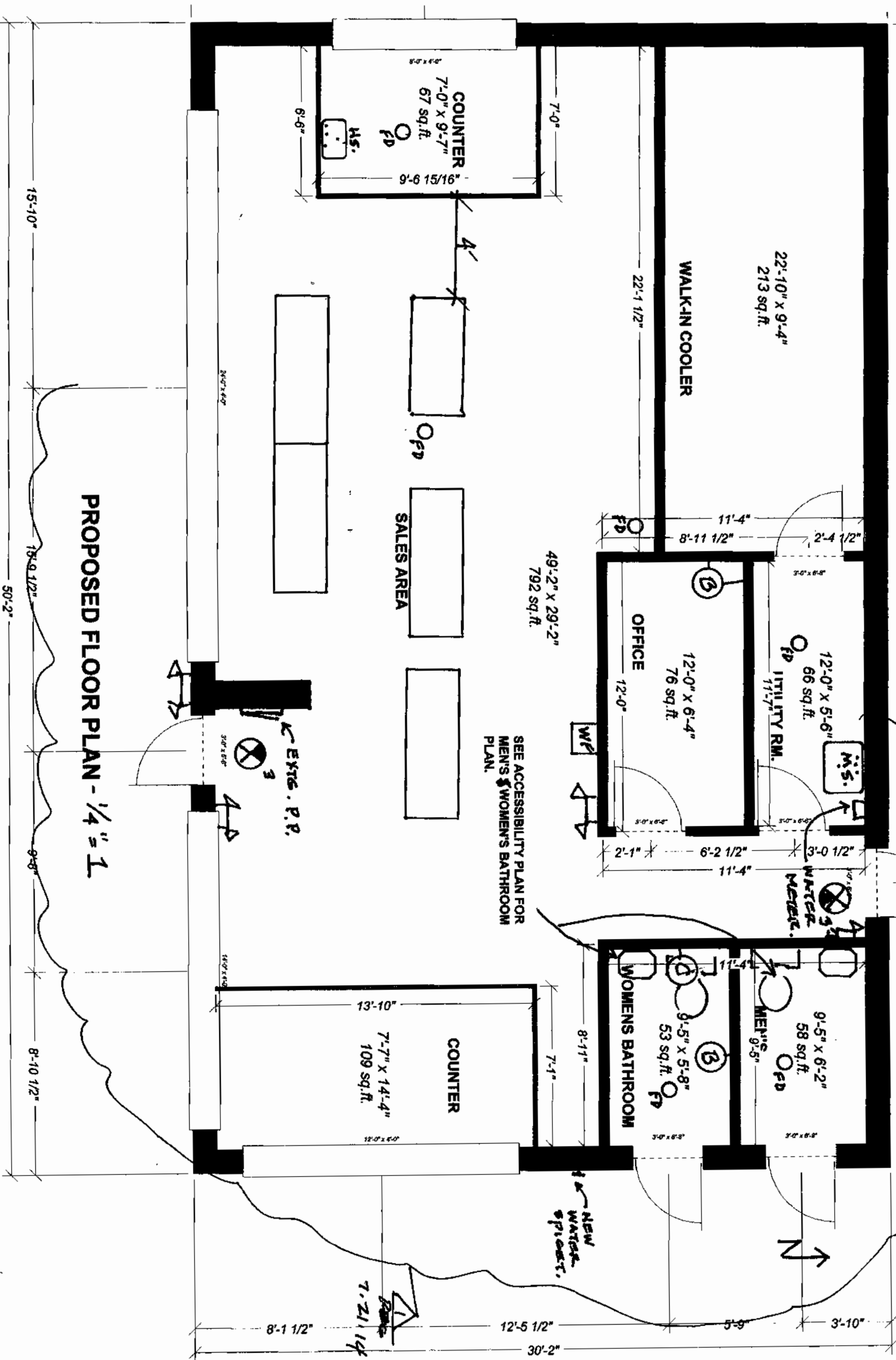
FILE NO.:

First Schedule

SHEET No.

A-3

SHEET OF



The contractor shall level all areas of existing floor @ same elevation. All floor areas shall comply with Illinois accessibility code & local ordinance.

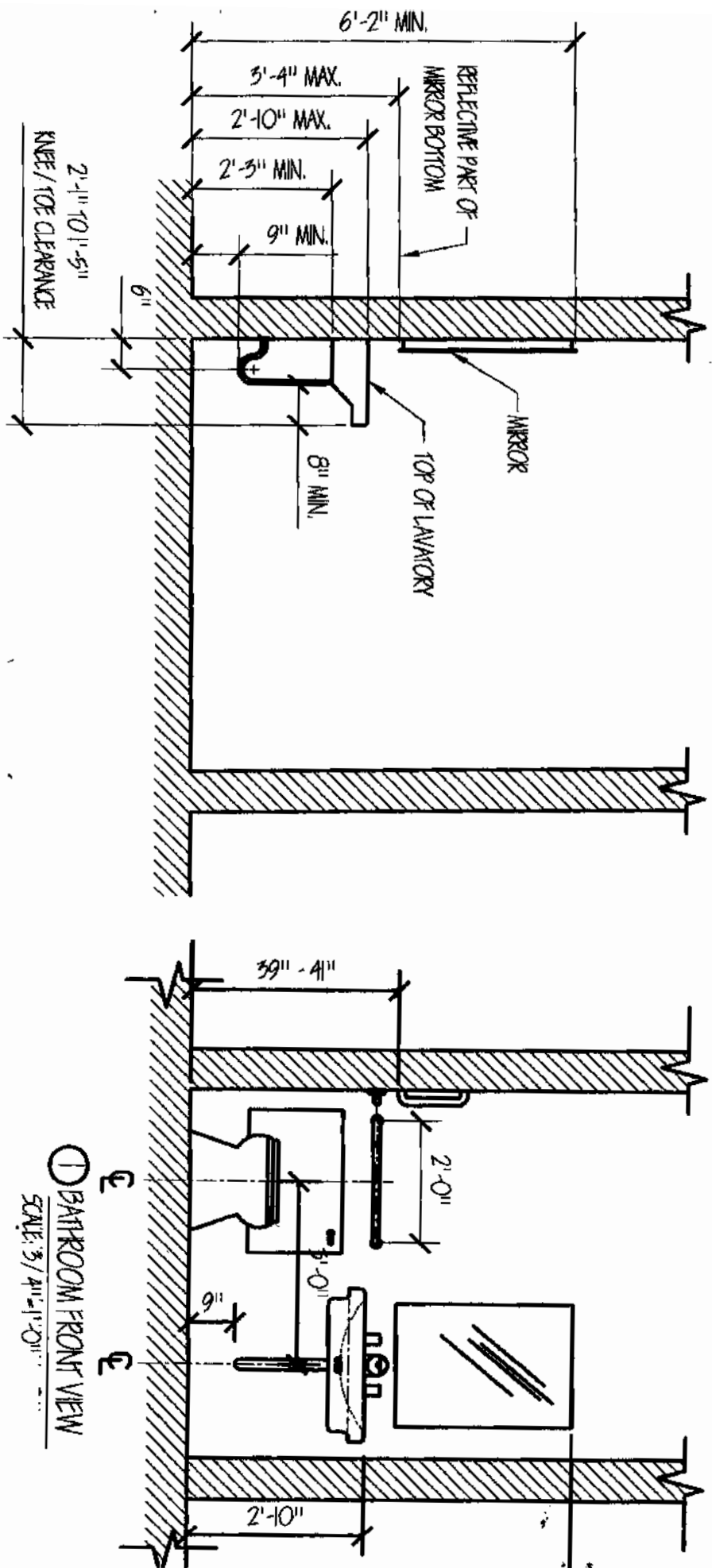
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Architects • Planners • Consultants
Construction Management

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Chicago, IL 60619
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(800) 363-3603 efax
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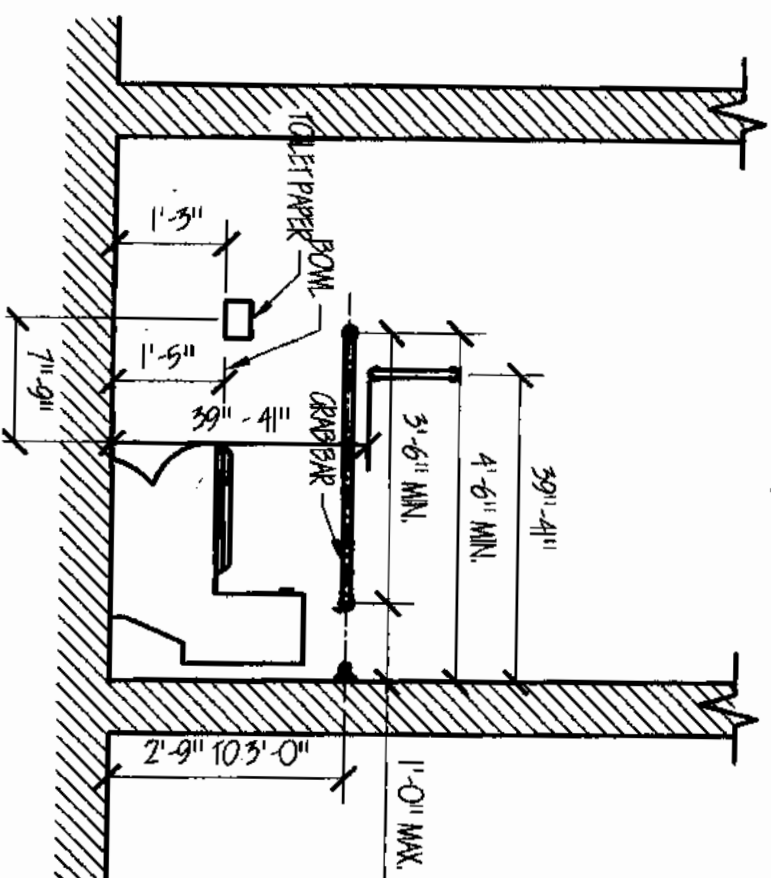
STATE OF ILLINOIS
RONALD E. GARNER
001-011805
LICENSED ARCHITECT

LIC # 001-011805
SUBJECT SITE: 1301 W. IRVING PK. ROAD
SCOPE OF WORK: INTER. ALT. TO BUILD-OUT MERCANTILE SPACE,

DESIGNED BY: A. Rowe
FILE NO.:
SHEET TITLE: Proposed Floor Plan
DRAWN BY: A.R.
CHECKED BY: REG
APPROVED BY: 1
SHEET NO. A-4
SHEET OF



① BATHROOM FRONT VIEW
SCALE: 3/4" = 1'-0"



HANDICAPPED ACCESSIBLE FIXTURE ELEVATIONS
AS REQUIRED PER A.D.A.

WATER CLOSETS AND URINALS

1. All 7.1 **2003** allows water closets to be located 16 to 18 in. from the side wall. Previous editions of ANSI as well as other regulations require this dimension to be an absolute 18 in.
2. All 7 **2003** requires the water closet clearance to be unobstructed by lavatory or other fixtures. Previous editions and other regulations allow other configurations with a lavatory within the water closet clearance.
3. The dashed area indicates the allowable location of the toilet paper dispenser. Outlet must be within the range shown. Dispensers should allow continuous paper flow and not control delivery.
4. All 7.1 does not require a dropped urinal rim; other regulations may.
5. Manually operated flush controls must be located not more than 44 in. maximum above the floor.

LAVATORIES

1. Knee and toe clearance is required below accessible lavatories. The lavatory overflow is permitted to project into the knee clearance.
2. Exposed pipes and water supply pipes located beneath accessible lavatories must be insulated or located so as to protect users from contact with the pipes.
3. Lavatory controls should be within accessible reach range, be operable with one hand, and not require tight grasping, pinching, or twisting of the wrist. Automatic controls are acceptable. Manually activated, self-closing faucets should operate for not less than 10 seconds.

GDA

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(312) 446-2599 cell
(800) 363-3603 fax
gda@designassociates.com



LIC #

001-011005

SUBJECT SITE:

1301 W. ILLINOIS PK.

SCOPE OF WORK:

DESIGNED BY:

ANTHONY ROWE

773-726-1632

FILE NO.:

SHEET TITLE:

ACCESSIBLE

NOTES &

BY THE FIXTURE

ELEVATIONS

DRAWN BY:

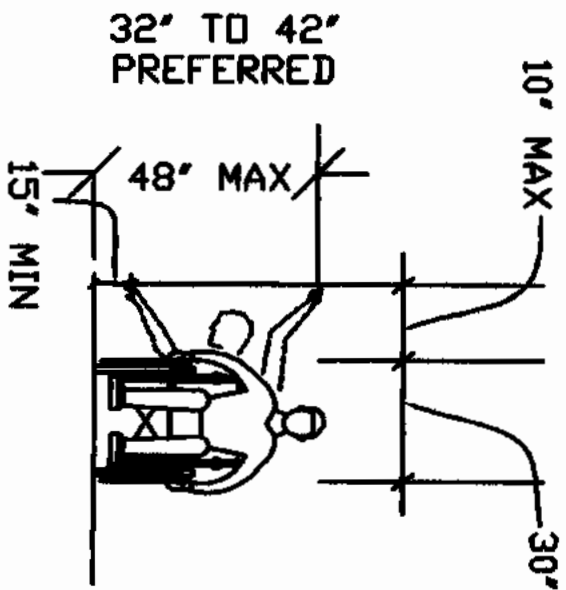
A.R.

CHECKED BY:

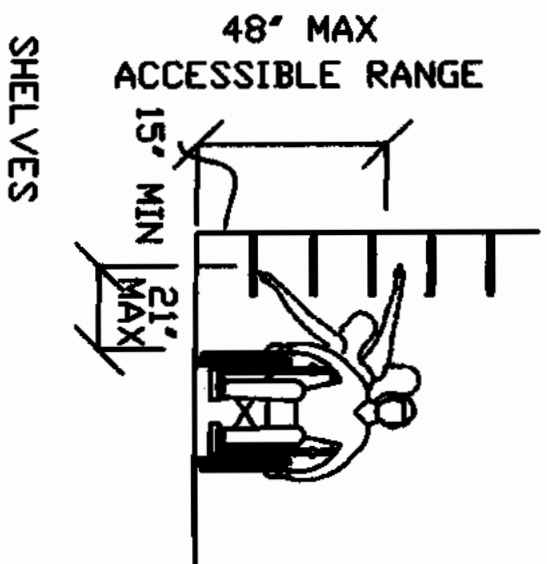
ADA-1

APPROVED BY:

SHEET OF

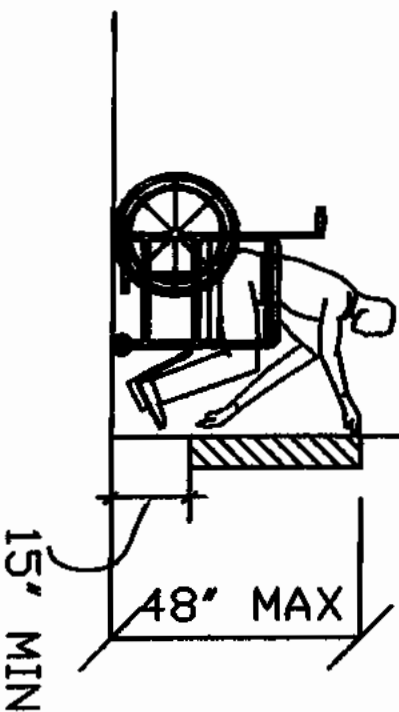
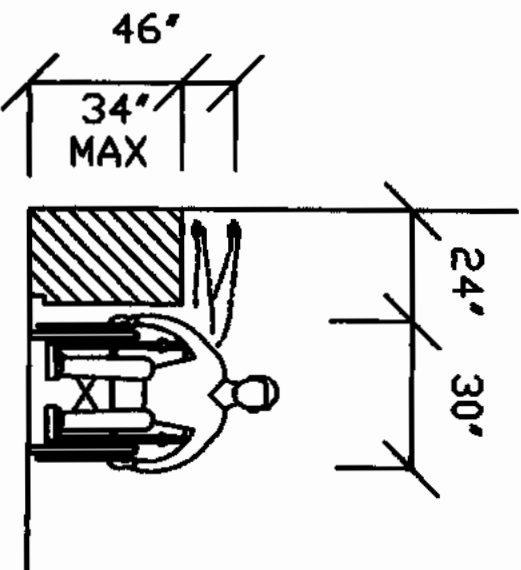


HIGH AND LOW SIDE REACH LIMITS



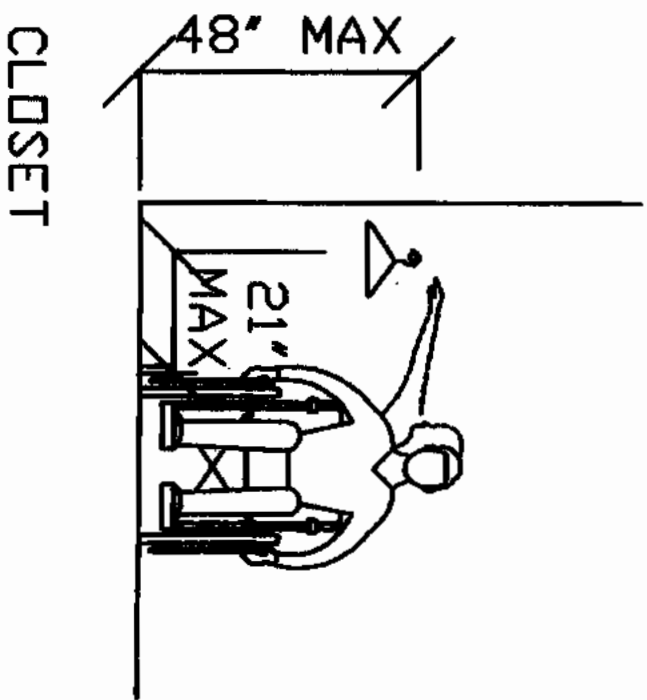
SHELVES

PARALLEL/SIDE REACH LIMITS

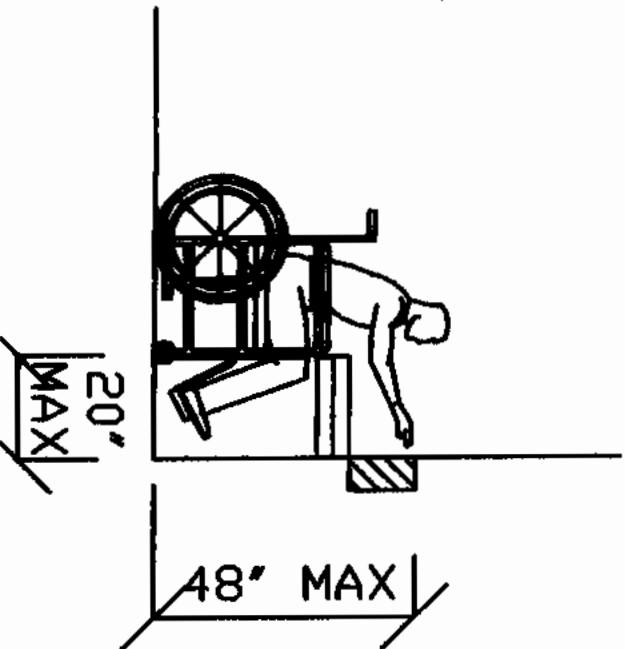


UNOBSTRUCTED FORWARD REACH

MAX. SIDE REACH OVER OBSTRUCTION



CLOSET



Reach Range

ANSI A117.1 2003 reduced the maximum reach range from 54 in. to 48 in. for unobstructed side reach and made the height limit the same as that for unobstructed forward reach, with the following exceptions:

1. A117.1 provides exception for existing elements located 54 in. maximum above the floor or ground.
2. A117.1 provides exception for elevator car controls, serves more than 16 openings. This exception may be revisited in future editions, when the elevator industry has had an opportunity to develop alternate control configurations.
3. A117.1 does not apply the 48 in. restriction to tactile signs. Tactile signs must be installed so the tactile characters are between 48 and 60 in. above the floor. Below this height, tactile characters are difficult to read by standing persons, as the hand must be bent awkwardly or turned over (similar to reading upside down to read the message).

FHAG requires controls and operating mechanisms in covered dwelling units to be installed at a maximum height of 48 in. with the following exceptions:

1. FHAG allows inaccessible controls in covered dwelling units if "compatible" accessible controls are provided.
2. Floor outlets are permitted if an adequate number of accessible wall outlets is provided.
3. Electric outlets above kitchen counters can be located in corners, provided additional outlets are located within reach.

Accessible controls and operating mechanisms should be operable with one hand and not require tight grasping, pinching, or twisting of the wrist, with the following exception: FHAG does not regulate the operating force or type of operation required for controls and operating mechanisms in dwelling units.

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gda@designassociates.com



LIC.#

DBI-011805

SUBJECT SITE:

1301 W. IRVING PK.

SCOPE OF WORK:

DESIGNED BY:

ANTHONY ROWI

773-726-1632

FILE NO.:

SHEET TITLE: REACH

RANGE ELEV & ACCESSIBLE

NOTES

DRAWN BY:

A.K.

SHEET NO.

CHECKED BY:

REG

ADA-2

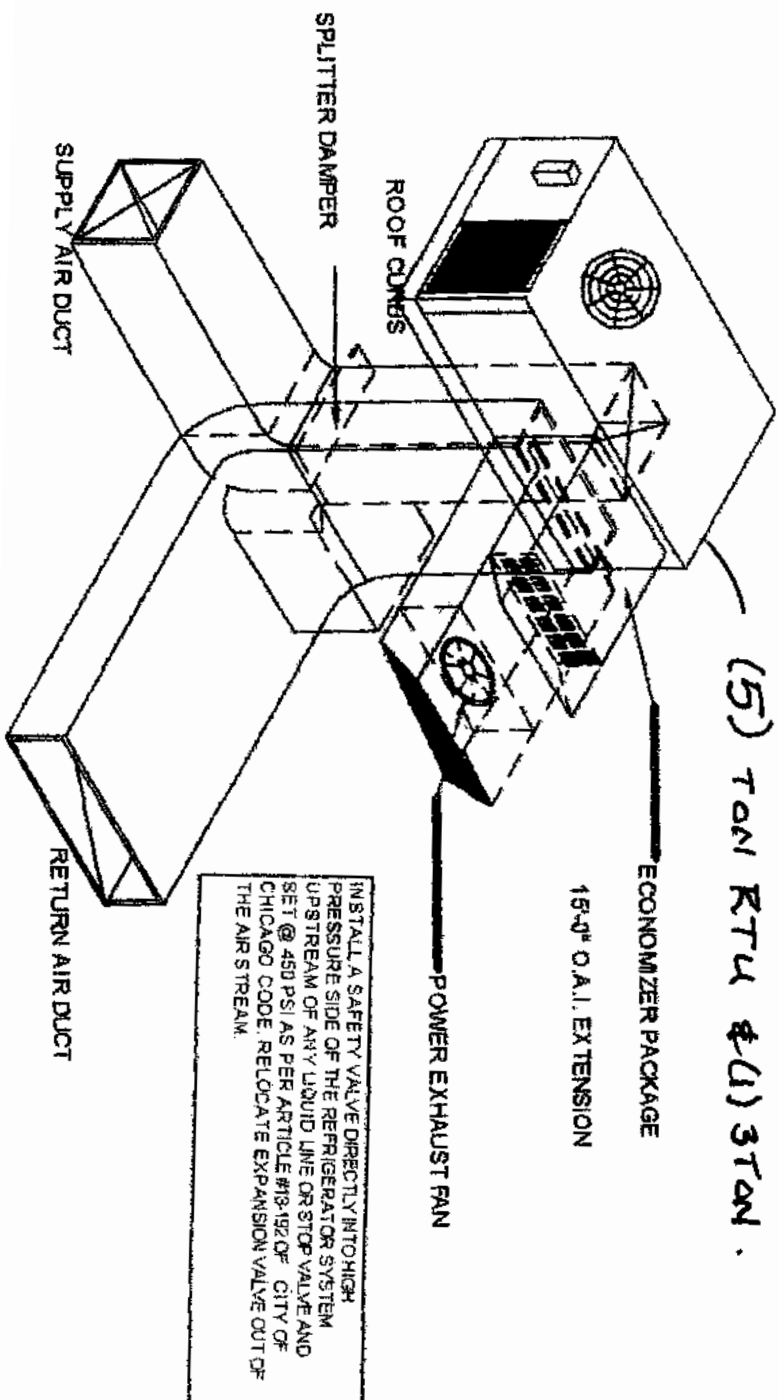
APPROVED BY:

REG

SHEET OF

GENERAL HVAC NOTES

- 1.) ALL SUPPLY DUCTS SHALL BE GALVANIZED SHEET METAL.
 - 2.) ALL WORK SHALL COMPLY WITH THE CITY OF CHICAGO, IL & I.C.B.D. VENTILATION, REFRIGERATION, ENVIRONMENTAL & BUILDING CODES.
 - 3.) IF FURNACE/HEATING UNITS ARE NOT 90% PLUS DIRECT WALL VENT, THE FLUE SHALL BE A MIN. OF 5" CLASS "B" & EXTEND 6'0" ABOVE ROOF LINE. IF ELECTRIC, NO FLUE IS NECESSARY.
 - 4.) LOCK TYPE DAMPERS SHALL BE USED IN ALL SUPPLY DUCTS.
 - 5.) INSTALL HUMIDIFIERS TO GAS FURNACE.
 - 6.) FURNACE SHALL HAVE THE CAPACITY TO HEAT BUILDING TO 70°F AT OUTSIDE AIR TEMPERATURE OF -10°F.
 - 7.) USE HART & COOLEY REGISTERS 12" X 6" & RETURNS @ 12" X 18".
 - 8.) INSTALL CO DETECTORS WITHIN 15'0" OF BEDRM. & FURNACE ROOM.
- INSTALL SMOKE DETECTORS WITHIN 15'0" OF BEDRM. ENTRANCES.
- 9.) INSTALL FLOOR REGISTERS WITHIN & NOT MORE THAN 9" FROM A WALL.
 - 10.) INSTALL ~~150,000 BTU~~ FORCED AIR UNIT, ~~\$ 85,000~~
- ALL SHALL BE ~~Amana~~ OR EQUAL.
- 11.) COPPER TUBING MAYBE ACR OR TYPE K UNLESS PRESSURE EXCEEDS THE RATED CAPACITY OF ACR TUBING PER 18-28-1107.4.3.
 - 12.) ALL PIPES SHALL BE BRAZED.
 - 13.) INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF SYSTEM, UPSTREAM OF ANY INTERVENING VALVES.



HVAC NOTES:

- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE CHICAGO BUILDING CODES.
- HEATING CONTRACTOR SHALL RECALCULATE AND VERIFY SIZES OF ALL THE EQUIPMENT, DUCTS, REGISTERS, GRILLS, CHIMNEYS, ETC., AND SHALL NOTIFY ARCHITECT AND OWNER OF ANY RECOMMENDED CHANGES OR MODIFICATIONS.
- NOISE LEVEL OF MECHANICAL EQUIPMENT SHALL NOT EXCEED 55 DB AT LOT LINE.
- ALL NEW FORCED AIR FURNACES SHALL HAVE NEW HUMIDIFIER AND HUMIDISTAT CONTROL UL APPROVED.
- ALL DUCTS SHALL BE GALVANIZED SHEET METAL 28 GAUGE FOR LESS THAN 14 INCHES BY 26 INCHES GAUGE FOR MORE THAN 14 INCHES WIDTHS.
- LOCKING TYPE VOLUME DAMPERS SHALL BE PLACED IN EACH FORCED AIR RUN AND RISE.
- ALL SUPPLY AIR REGISTERS SHALL BE ADJUSTABLE 4 IN BY 10 IN UNLESS NOTED OTHERWISE.
- ALL REGISTERS TO BE MAXIMUM NINE INCHES FROM WALLS.
- INSTALL SHEET METAL 8" VENT EXHAUST FLUE UP TO TWO FEET ABOVE SLOPED ROOF PEAKS 6 FEET ABOVE FLAT ROOF, COMPLETE WITH PROPER FLASHING AT ROOF, TERMINATION CAP, FIRE STOPS AND SUPPORTS STRAPS.
- ALL RETURN AIR DUCTS TO BE INSTALLED FOR SOUND.
- INSTALL CANVAS AND NEOPRENE VIBRA STOP CONNECTORS WITHIN SIX FEET OF FURNACE AT ALL SUPPLY AND RETURN TRUNK LINES FOR SOUND ISOLATION.
- INSTALL CARBON MONOXIDE DETECTORS AS NOTED ON PLANS. THE HEATING SYSTEM WILL HEAT ALL ROOMS TO 80 DEGREES FAHRENHEIT WHEN THE OUTSIDE TEMPERATURE IS MINUS 10 DEGREES FAHRENHEIT.
- SUPPLY INTAKES MUST BE A MINIMUM OF 15'-0" FROM EXHAUST FANS.
- BOTTOM OF SUPPLY INTAKES SHALL BE 10'-0" ABOVE SURFACE OF ANY ABUTTING PUBLIC WAY.
- TRANSFER DUCTS MAY NOT EXCEED 5'-0" IN LENGTH.
- EXHAUST HOODS - ALL HOODS AND DUCTS MUST BE 14 GAUGE BLACK IRON OR 18 GAUGE STAINLESS STEEL IF APPLICABLE.
- VENT SYSTEM:
FURNACE AND WATER HEATER - 8" DIA.
8" VENT UP THRU ROOF WITH FLASHING
- INSIDE IS ALUMINUM
- OUTSIDE IS GALVANIZED.

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gdausa@earthlink.net



LIC#

001-011805

SUBJECT SITE:

1301 W. Irving PK.

SCOPE OF WORK:

DESIGNED BY:
ANTHONY ROWI

773-726-1632

FILE NO.:

SHEET TITLE:

CONDENSER,
DIACRAM
HVAC

NOTES:

DRAWN BY: SHEET NO.

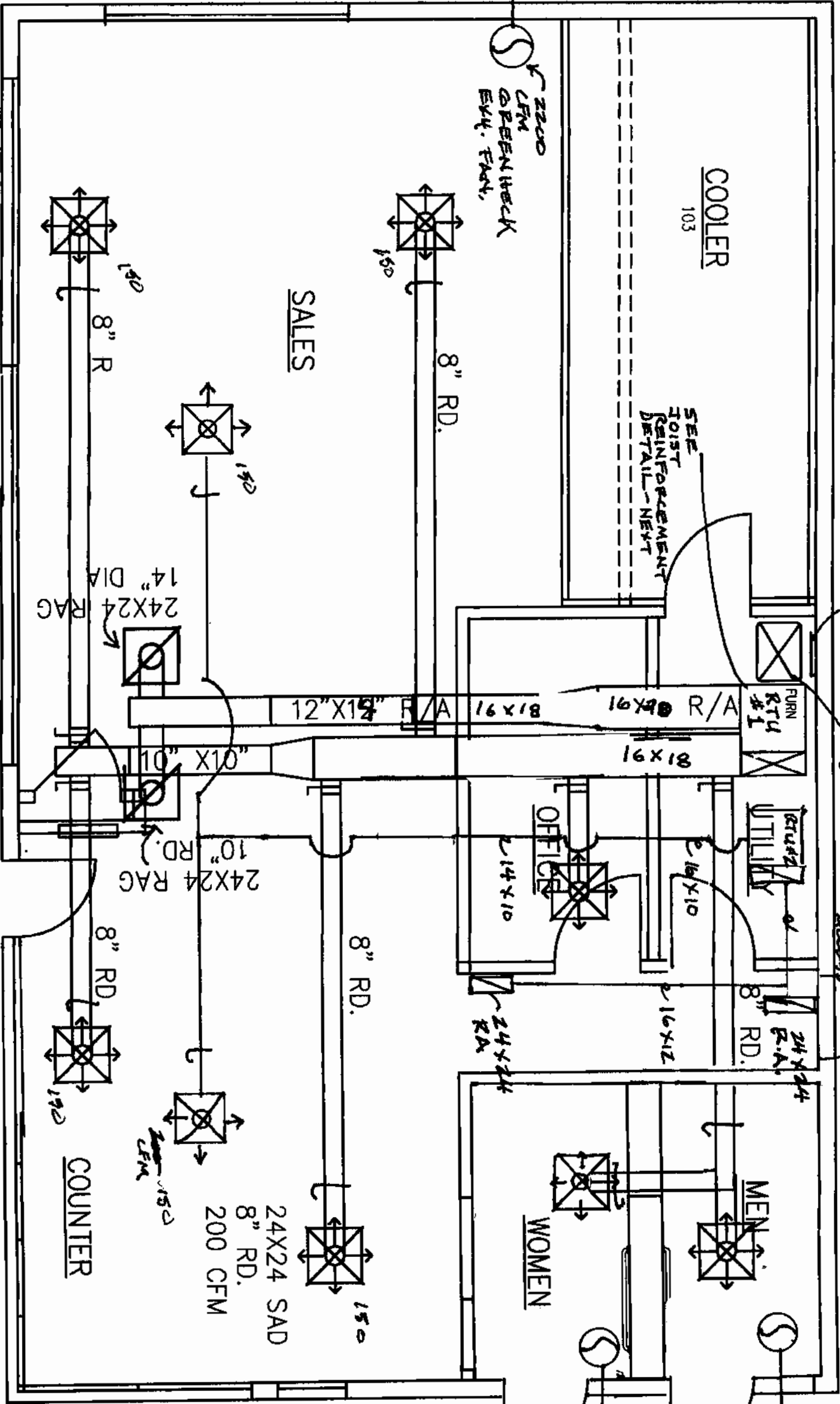
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M-

APPROVED BY:

SHEET OF

RTU-2 = 85,000 BTU



HVAC PLAN

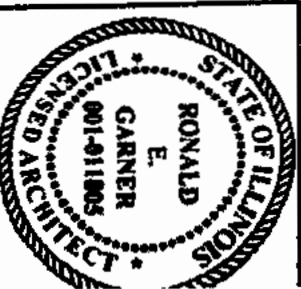
SCALE: 1/4"=1'-0"

GDA

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Construction Management

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groupdesignassoce@gmail.com

groupdesign@cs.cmu.edu



#217

001-011805

SUBJECT SITE:

PK.
HRYING
ROAD

SCOPE OF WORK:
INTER, ALT,
TO BUILD-
OUT
MERCANTILE
SPACE,

DESIGNED BY:
A. Powell

FILE NO.:

SHEET TITLE:
HVAC
DUCT
LAY-OUT

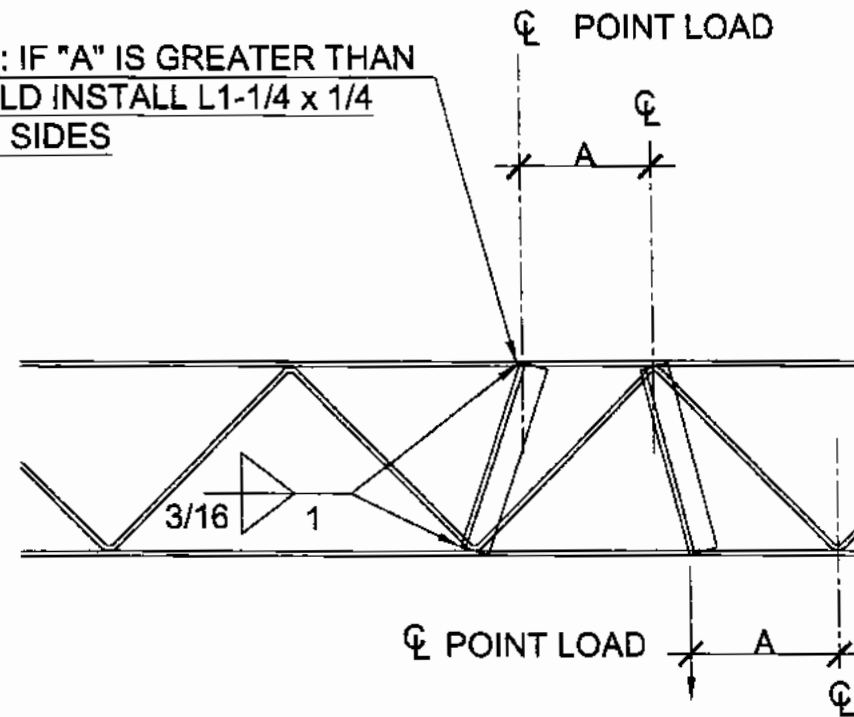
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AIK	
CHECKED BY	

REC

APPROVED BY
REG
SHEET OF

NOTE: IF "A" IS GREATER THAN
2' FIELD INSTALL L1-1/4 x 1/4
BOTH SIDES



A JOIST REINFORCEMENT AT CONCENTRATED LOADS
NOT TO SCALE

GDA
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Chicago, IL 60619
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(800) 383-3603 eFax
groupdesignassociates@gmail.com



LIC#
001-011805
SUBJECT SITE:
1301 W,
IRVING PK,
ROAD
SCOPE OF WORK:
INTER. ALT,
TO BUILD-
OUT
MERCANTILE
SPACE,

DESIGNED BY:
A. RONE

FILE No.:

SHEET TITLE:
REINFORCEMENT

DRAWN BY: A.R.	SHEET No. M-3
CHECKED BY: REG	
APPROVED BY: REG	SHEET OF

ELECTRICAL DISTRIBUTION

PART 1 GENERAL

1.01 SUMMARY

A. Provide complete electrical and telephone service as shown on the Drawings, as specified herein and as needed for a complete and proper installation.

1.02 QUALITY ASSURANCE

A. Use adequate numbers of skilled workers who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this section.

PART 2 PRODUCTS

2.01 GENERAL

A. Use only new materials of the type and quality specified. Where Underwriters' Laboratories, Inc. have established standards for such materials, use only materials bearing the UL label.

B. Temporary power: In addition to providing temporary power as described in section 01500 of these specifications provide and pay the costs for installing permanent electrical meter as required. When permanent metering is in place and connected, the Owner will pay the costs for electrical power charged against the meter. All temporary wiring should be installed in accordance to Article 305- 'Temporary Wiring' of the Chicago Electrical Code.

2.02 WIRING

A. All wiring should be installed in accordance to Article 310 'Conductors for General Wiring' and all Tables in accordance to aforesaid Article in the Chicago Electrical Code.

B. All power and low voltage shall be in conduit.

2.03 TELEPHONE

A. Provide service entrance equipment, outlets, terminal boards and other items shown on the Drawings or required for a complete, approved and operating telephone service, except for such items as are provided by the serving telephone company.

2.04 CABLE TELEVISION

A. Provide service entrance equipment, outlets, terminal boards and other items shown on the Drawings or required for a complete, approved and operating cable television service, except for the television units and such items as are provided by the serving cable television company.

2.05 PANELBOARDS

A. Manufacturers:

- 1. Westinghouse Product
- 2. Square "D" Product
- 3. G.E. Product

B. Main distribution panels: NEMA PB 1; circuit breaker type.

- 1. Provide surface cabinet front with screw cover and hinged door.
- 2. Bus: Copper.
- 3. Ground bus: Copper.
- 4. Voltage: 120/240 volts.

2.06 WIRING DEVICES AND WALL PLATES

A. Manufacturers:

- 1. Leviton Product
- 2. Westinghouse Product
- 3. G.E. Product

B. Wall switch: AC general use, quiet operating snap switch rated 20 amperes and 120-277 volts AC, color and handle type as selected by the Owner.

1. Locator type: Lifted handle type.

C. Receptacle:

- 1. Provide straight blade receptacles to NEMA WD 1.
- 2. Convenience receptacle configuration: Type 5-20 R, plastic face, color selected by Owner.
- D. Specific purpose receptacles: Configuration as noted on the Drawings, black face.
- E. Wall dimmer: Linear slide / rotary dial type, color selected by Owner.
- 1. Rating: 600 Watts minimum, size to accommodate circuit shown on the Drawings.
- F. Interval timer: Rotary dial, spring-wound interval timer with adjustable setting from 0 to 15 minutes and SPST contacts rated at 20 amperes at 240 volts.
- G. Weatherproof cover plate: Gasketed cast metal with hinged gasketed device covers.
- H. A GFI is required on all HVAC equipment on roof tops.

PART 3 EXECUTION

3.01 SURFACE CONDITIONS

A. Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the Work. Do not proceed until unsatisfactory conditions are corrected.

3.01-A Disconnects

If service entrance is more than 5' from power panel a disconnect shall be installed. All equipment in commercial spaces & all HVAC equipment shall have a disconnect.

GDA

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(312) 446-2599 cell
(800) 383-3603 ext. x
gda@designassociatesgda.com



LIC#

001-011805

SUBJECT SITE:

1301 W. ILLINOIS PK

SCOPE OF WORK:

DESIGNED BY:

A. POWIE

FILE NO.:

SHEET TITLE:

ELECTRICAL
NOTES

DRAWN BY:

A. R.

CHECKED BY:

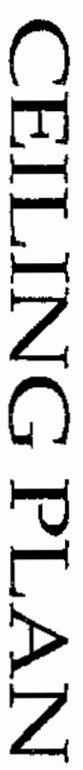
REG

APPROVED BY:

REG

SHEET OF

E-1



SCALE: 1/4"=1'-0"



Group Design Associates, Inc.
Architects * Planners * Consultants
Construction Management

SUBJECT SITE:

SCOPE OF WORK:

INTER, ALT,
TO BUILD-
OUT
MERCANTILE
SPACE,

FILE NO.:

SHEET TITLE:

REFLECTED
CEILING

DRAWN BY

2. A

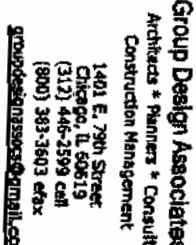
CHECKED BY:

APPROVED BY:

REG SHEET OF

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091-011805
- SUBJECT SITE:
1301 W.
IRVING PK.
SCORE OF WORK:
IAT, ALT.
TO BUILD
OUT-
MECANITILE
SPACE



Group Design Associates
Architects * Planners * Consultants
Construction Management

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Chicago, IL 60619
(312) 446-2599 cell
(800) 383-3603 fax
grouppdesignassociates@gmail.com

001-011805

SUBJECT SITE:
1301 W.
IRVING PK.

SCOPE OF WORK:

INT, ALT.
TO BUILD
OUT-
MECAN TILE
SPACE

DESIGNED BY:
ANTHONY ROWE

773-726-1632

FILE NO.:

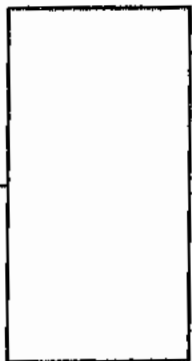
SHEET TITLE:
SCHEDULE OF
CONDUITS &

DRAWN BY: A.R.
SHEET N

CHECKED BY: REG E-2.1

APPROVED BY: _____
PRTS SHEET

LIGHT FIXTURE —



E.M. BATTERY PACK

POWER PANEL



EMERGENCY BATTERY PACK
& EXIT SIGN WIRING DIAGRAM

OR



E.M. BATTERY PACK



LIGHT FIXTURE

POWER PANEL



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Architects • Planners • Consultants
Construction Management

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Chicago, IL 60619
(312) 446-2599 cell
(800) 383-3603 fax
gda@designassociatesgda.com



PD1-011805

SUBJECT SITE:

1301 W,
IRVING PK.

SCOPE OF WORK:

DESIGNED BY:

ANTHONY
ROWE

FILE NO.:

SHEET TITLE: EMERG.
BATTERY PACK
& EXIT SIGN
WIRING DIAG.

DRAWN BY:

A.R.

CHECKED BY:

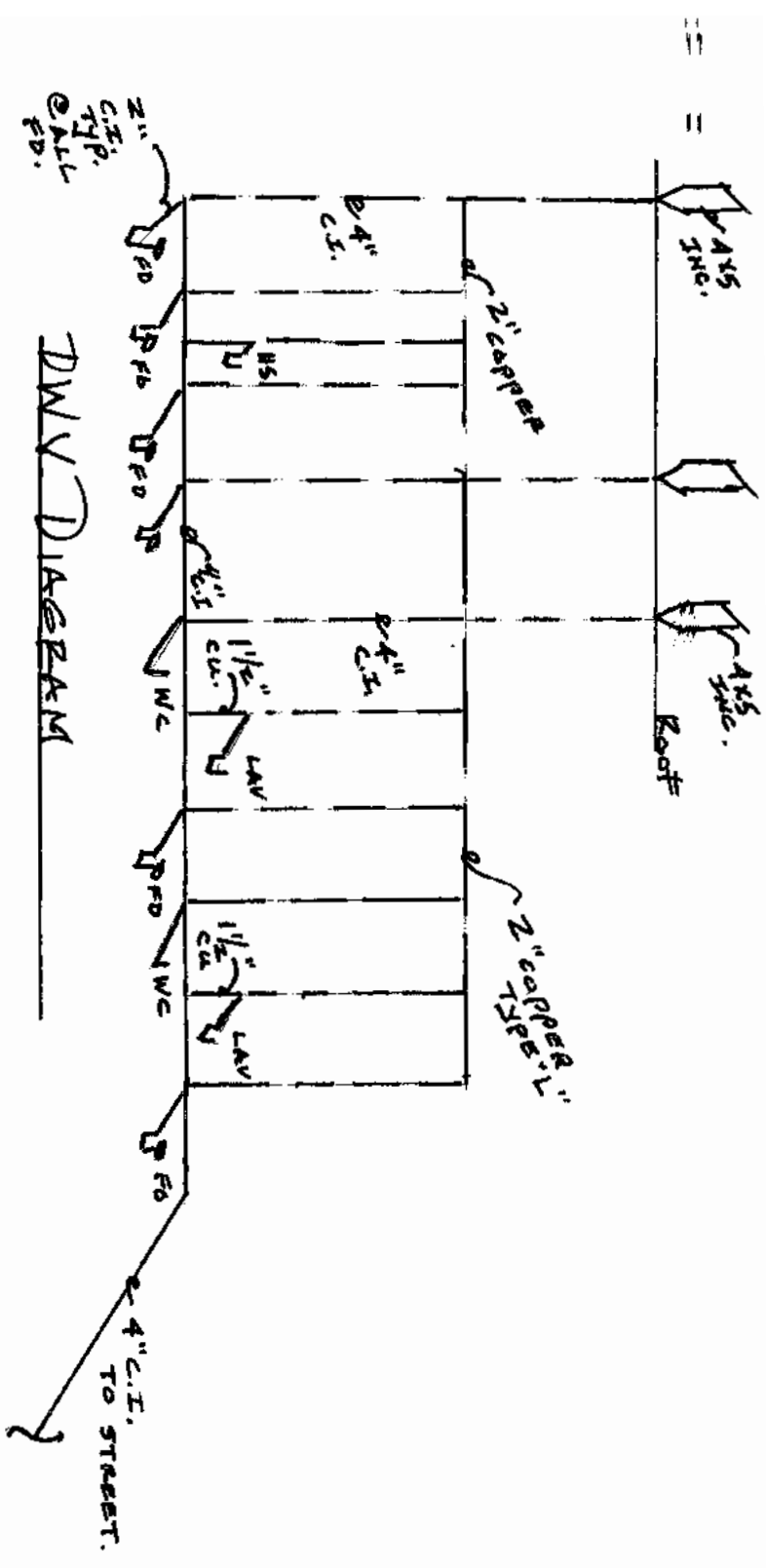
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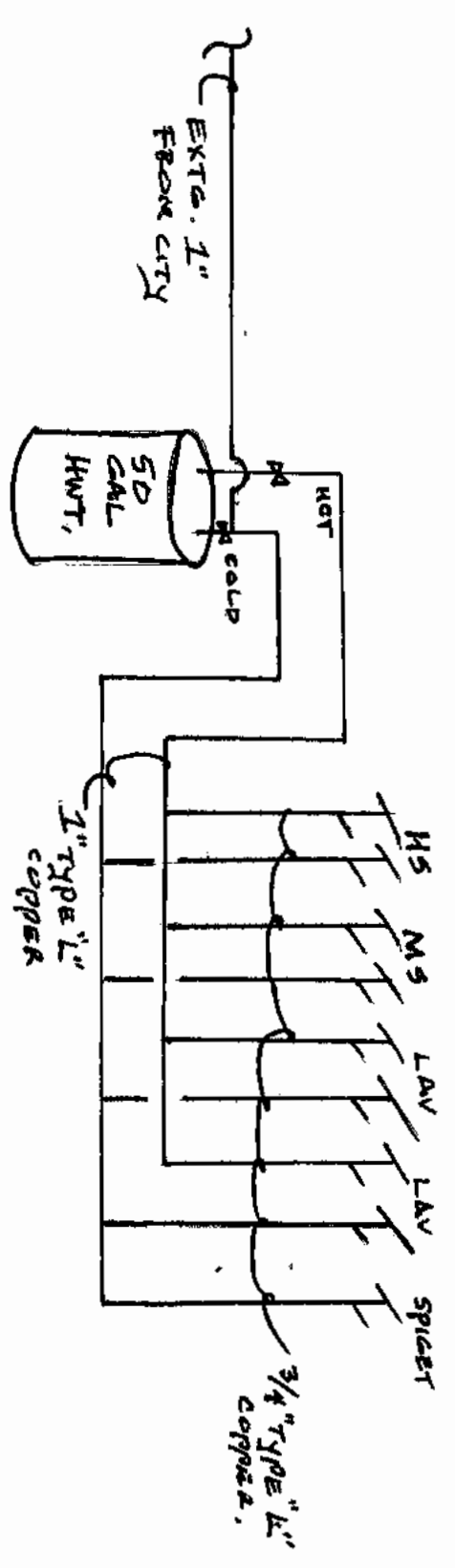
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SHEET OF

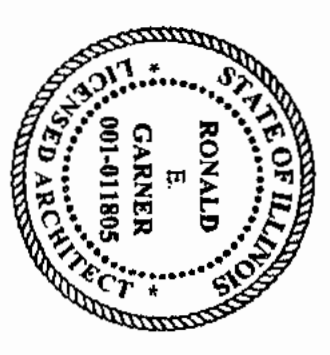
E-3



DWV DIAGRAM



WATER DIAGRAM



From: Dean Lawrentz
Sent: Tuesday, February 3, 2015 12:07 PM
To: [REDACTED]
Subject: RE: 1301 Irving Park

Are you talking to the property owner or tenant for the plat? The frontage numbers are required. A sign permit will not be reviewed let alone issued without them. If you are doing electrical work (disconnect of an existing sign and reconnection of a new sign IS electrical work) an electrical license and \$10000.00 bond ARE required. Permit will not be issued without these.

*Dean Lawrentz, MCP
Building Plan Reviewer/Inspector
Village of Bensenville
Office- 630-350-3410
Cell- 847-306-2699
dlawrentz@bensenville.il.us*

From: ccronin@jnbsigns.com [mailto:ccronin@jnbsigns.com]
Sent: Tuesday, February 03, 2015 11:49 AM
To: Dean Lawrentz
Cc: Mark Rysavy
Subject: RE: 1301 Irving Park

Dean & Mark,

Please see below new comments in red.
Thank you.

Chris Cronin
Account Executive
ccronin@jnbsigns.com

office 608.754.6338 ext 17
fax 608.754.7822

cell 608.751.8966



----- Original Message -----

Subject: 1301 Irving Park
From: "Dean Lawrentz" <DLawrentz@bensenville.il.us>
Date: 1/7/15 2:15 pm
To: "ccronin@jnbsigns.com" <ccronin@jnbsigns.com>
Cc: "Mark Rysavy" <MRysavy@bensenville.il.us>

Chris, Mark asked me to answer your questions. 1)NO. Each piece of signage requires a separate application, however, they will all be under one permit number. 2)NO. A plat of survey is required, google earth is not acceptable. You/We need the frontage numbers to calculate the allowable square footage allowed for the signs. **the owner is not able to provide this --- the monument sign is 50 square feet which is the max allowed by code. The 2 wall signs on the overhead canopy are not**

large. Can we hand draw this site plan? 3) VERY. The application must be completely filled out. **Any incomplete applications will not be accepted.** Keep this in mind if your mailing the application in. 4)YES. If there is electrical work, a licensed electrician must do the work. We must have a copy of their license and the **original** paper work for a \$10,000.00 surety bond. Permit will not be issued without this information. **There is no new electrical being run -- we are just disconnecting and reconnecting existing service.**

If you have any other questions please contact me.

Dean Lawrentz, MCP

Building Plan Reviewer/Inspector

Village of Bensenville

Office- 630-350-3410

Cell- 847-306-2699

dlawrentz@bensenville.il.us

From: Dean Lawrentz
Sent: Thursday, March 26, 2015 4:04 PM
To: ccronin@jnbsigns.com
Subject: RE: 1301 Irving Park sign permits

Got it

*Dean Lawrentz, MCP
Building Plan Reviewer/Inspector
Village of Bensenville
Office- 630-350-3410
Cell- 847-306-2699
dlawrentz@bensenville.il.us*

From: ccronin@jnbsigns.com [mailto:ccronin@jnbsigns.com]
Sent: Thursday, March 26, 2015 11:20 AM
To: Dean Lawrentz
Subject: RE: 1301 Irving Park sign permits

Dean,

This packet was sent FedEx yesterday so you should see it today.

Please let me know that you have it.
Thank you.

Chris Cronin
Account Executive
ccronin@jnbsigns.com

office 608.754.6338 ext 17
fax 608.754.7822

cell 608.751.8966



----- Original Message -----

Subject: RE: 1301 Irving Park
From: ccronin@jnbsigns.com
Date: 2/3/15 12:16 pm
To: "Dean Lawrentz" <DLawrentz@bensenville.il.us>

Tenant and property owner are the same guy.

Is there anything you have there on file for a plat?

Sorry to persist just trying to get project moving for customer.

Chris Cronin

Account Executive
ccronin@jnbsigns.com

office 608.754.6338 ext 17
fax 608.754.7822

cell 608.751.8966



----- Original Message -----

Subject: RE: 1301 Irving Park
From: "Dean Lawrentz" <DLawrentz@bensenville.il.us>
Date: 2/3/15 12:06 pm
To: "ccronin@jnbsigns.com" <ccronin@jnbsigns.com>

Are you talking to the property owner or tenant for the plat? The frontage numbers are required. A sign permit will not be reviewed let alone issued without them. If you are doing electrical work (disconnect of an existing sign and reconnection of a new sign IS electrical work) an electrical license and \$10000.00 bond ARE required. Permit will not be issued without these.

Dean Lawrentz, MCP

Building Plan Reviewer/Inspector

Village of Bensenville

Office- 630-350-3410

Cell- 847-306-2699

dlawrentz@bensenville.il.us

From: ccronin@jnbsigns.com [<mailto:ccronin@jnbsigns.com>]
Sent: Tuesday, February 03, 2015 11:49 AM
To: Dean Lawrentz
Cc: Mark Rysavy
Subject: RE: 1301 Irving Park

Dean & Mark,

Please see below new comments in red.

Thank you.

Chris Cronin

Account Executive

ccronin@jnbsigns.com

office 608.754.6338 ext 17

fax 608.754.7822

cell 608.751.8966



----- Original Message -----

Subject: 1301 Irving Park

From: "Dean Lawrentz" <DLawrentz@bensenville.il.us>

Date: 1/7/15 2:15 pm

To: "ccronin@jnbsigns.com" <ccronin@jnbsigns.com>

Cc: "Mark Rysavy" <MRysavy@bensenville.il.us>

Chris, Mark asked me to answer your questions. 1)NO. Each piece of signage requires a separate application, however, they will all be under one permit number. 2)NO. A plat of survey is required, google earth is not acceptable. You/We need the frontage numbers to calculate the allowable square footage allowed for the signs. **the owner is not able to provide this --- the monument sign is 50 square feet which is the max allowed by code. The 2 wall signs on the overhead canopy are not large. Can we hand draw this site plan?** 3) VERY. The application must be completely filled out. **Any incomplete applications will not be accepted.** Keep this in mind if your mailing the application in. 4)YES. If there is electrical work, a licensed electrician must do the work. We must have a copy of their license and the **original** paper work for a \$10,000.00 surety bond. Permit will not be issued without this information. **There is no new electrical being run -- we are just disconnecting and reconnecting existing service.**

If you have any other questions please contact me.

Dean Lawrentz, MCP

Building Plan Reviewer/Inspector

Village of Bensenville



Office- 630-350-3410

Cell- 847-306-2699

dlawrentz@bensenville.il.us

From: Dean Lawrentz
Sent: Friday, April 10, 2015 3:20 PM
To: ccronin
Subject: RE: 1301 Irving park

GOT IT. I'LL CONTACT YOU WHEN PERMIT IS READY.

*Dean Lawrentz, MCP
Building Plan Reviewer/Inspector
Village of Bensenville
Office- 630-350-3410
Cell- 847-306-2699
dlawrentz@bensenville.il.us*

From: ccronin [mailto:ccronin@jnbsigns.com]
Sent: Friday, April 10, 2015 12:11 PM
To: Dean Lawrentz
Subject: 1301 Irving park

Dean,

As a follow up to our phone conversation, for the canopy at the above address we will remove graphics and LED light bars from the 2 sides which DO NOT face Irving park and Spruce st.

Please confirm.
Thank you.

Chris Cronin
JNB Signs, Inc.
608.751.8966

Sent from my U.S. Cellular® Smartphone

From: Dean Lawrentz
Sent: Friday, April 10, 2015 4:52 PM
To: ccronin@jnbsigns.com
Subject: 1301 Irving Park

I just noticed you don't have any construction details of the monument sign. I need footing , etc. information.

*Dean Lawrentz, MCP
Building Plan Reviewer/Inspector
Village of Bensenville
Office- 630-350-3410
Cell- 847-306-2699
dlawrentz@bensenville.il.us*

From: Dean Lawrentz
Sent: Monday, April 13, 2015 11:58 AM
To: ccronin@jnbsigns.com
Subject: RE: 1301 Irving Park

Permit is ready for pickup. Fees as follows:

Monument –185.00
Canopy – 328.00 (2 @ 164.00)
Inspections for monument sign – 150.00 (3 @ 50.00 each)
Inspections for 2 Canopy signs – 200.00 (100.00 each, 4 @ 50.00 each)
Permit escrow –250.00

Total 1113.00 due. Please contact me with any questions.

*Dean Lawrentz, MCP
Building Plan Reviewer/Inspector
Village of Bensenville
Office- 630-350-3410
Cell- 847-306-2699
dlawrentz@bensenville.il.us*

From: ccronin@jnbsigns.com [mailto:ccronin@jnbsigns.com]
Sent: Monday, April 13, 2015 8:30 AM
To: Dean Lawrentz
Subject: RE: 1301 Irving Park
Importance: High

Dean,

We are using the existing foundation and columns for the monument sign.

Chris Cronin
Account Executive
ccronin@jnbsigns.com

office 608.754.6338 ext 17
fax 608.754.7822

cell 608.751.8966



----- Original Message -----

Subject: 1301 Irving Park
From: "Dean Lawrentz" <DLawrentz@bensenville.il.us>
Date: 4/10/15 4:51 pm
To: "ccronin@jnbsigns.com" <ccronin@jnbsigns.com>

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Dean Lawrentz, MCP

Building Plan Reviewer/Inspector

Village of Bensenville

Office- 630-350-3410

Cell- 847-306-2699

dlawrentz@bensenville.il.us

From: Dean Lawrentz
Sent: Monday, April 13, 2015 12:30 PM
To: ccronin@jnbsigns.com
Subject: RE: 1301 Irving Park

It's in the conditions of permit. You will receive a copy when you pickup the permit.

*Dean Lawrentz, MCP
Building Plan Reviewer/Inspector
Village of Bensenville
Office- 630-350-3410
Cell- 847-306-2699
dlawrentz@bensenville.il.us*

From: ccronin@jnbsigns.com [mailto:ccronin@jnbsigns.com]
Sent: Monday, April 13, 2015 12:28 PM
To: Dean Lawrentz
Subject: RE: 1301 Irving Park

Thank you.

For the record, can you please state here what the minimum setbacks need to be for the monument sign for:

- 1) right-of-way setback
- 2) adjacent property setback

Appreciate your help on this.

Chris Cronin
Account Executive
ccronin@jnbsigns.com

office 608.754.6338 ext 17
fax 608.754.7822

cell 608.751.8966



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From: "Dean Lawrentz" <DLawrentz@bensenville.il.us>
Date: 4/13/15 11:58 am
To: "ccronin@jnbsigns.com" <ccronin@jnbsigns.com>

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Building Plan Reviewer/Inspector

Village of Bensenville

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Cell- 847-306-2699

dlawrentz@bensenville.il.us

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Sent: Monday, April 13, 2015 8:30 AM

To: Dean Lawrentz

Subject: RE: 1301 Irving Park

Importance: High

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Chris Cronin

Account Executive

ccronin@jnbsigns.com

office 608.754.6338 ext 17

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cell 608.751.8966



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From: "Dean Lawrentz" <DLawrentz@bensenville.il.us>
Date: 4/10/15 4:51 pm
To: "ccronin@jnbsigns.com" <ccronin@jnbsigns.com>

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etc. information.

Dean Lawrentz, MCP

Building Plan Reviewer/Inspector

Village of Bensenville

Office- 630-350-3410

Cell- 847-306-2699

dlawrentz@bensenville.il.us

From: Dean Lawrentz
Sent: Monday, April 13, 2015 1:49 PM
To: ccronin@jnbsigns.com
Subject: RE: 1301 Irving Park

Yes the permit is ready now, and yes you have to come into Village to get the permit. NO MAIL. All the other questions can be answered then.

*Dean Lawrentz, MCP
Building Plan Reviewer/Inspector
Village of Bensenville
Office- 630-350-3410
Cell- 847-306-2699
dlawrentz@bensenville.il.us*

From: ccronin@jnbsigns.com [mailto:ccronin@jnbsigns.com]
Sent: Monday, April 13, 2015 12:39 PM
To: Dean Lawrentz
Subject: RE: 1301 Irving Park

Sorry, more questions:

- 1) is the permit ready now?
- 2) do I have to pay & pick up in person.....or can it be done through the mail ?
- 3) what is the escrow for? Is that portion refunded?
- 4) the inspection process....how does this work?

Chris Cronin
Account Executive
ccronin@jnbsigns.com

office 608.754.6338 ext 17
fax 608.754.7822

cell 608.751.8966



----- Original Message -----

Subject: RE: 1301 Irving Park
From: "Dean Lawrentz" <DLawrentz@bensenville.il.us>
Date: 4/13/15 12:29 pm
To: "ccronin@jnbsigns.com" <ccronin@jnbsigns.com>

It's in the conditions of permit. You will receive a copy when you pickup the permit.

Dean Lawrentz, MCP

Building Plan Reviewer/Inspector

Village of Bensenville

Office- 630-350-3410

Cell- 847-306-2699

dlawrentz@bensenville.il.us

From: ccronin@jnbsigns.com [<mailto:ccronin@jnbsigns.com>]

Sent: Monday, April 13, 2015 12:28 PM

To: Dean Lawrentz

Subject: RE: 1301 Irving Park

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for the monument sign for:

- 1) right-of-way setback
- 2) adjacent property setback

Appreciate your help on this.

Chris Cronin

Account Executive

ccronin@jnbsigns.com

office 608.754.6338 ext 17

fax 608.754.7822

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Cell- 847-306-2699

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Chris Cronin

Account Executive

ccronin@jnbsigns.com

office 608.754.6338 ext 17

fax 608.754.7822

cell 608.751.8966



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Dean Lawrentz, MCP

Building Plan Reviewer/Inspector

Village of Bensenville



Office- 630-350-3410

Cell- 847-306-2699

dlawrentz@bensenville.il.us

From: Thomas Tsergas <analytek@comcast.net>
Sent: Thursday, February 28, 2019 3:39 PM
To: Evan Summers
Cc: Scott Viger
Subject: Meeting on Wen. Feb. 27

Dear Mr. Summers ;

In behalf of K. Giannoudakos and myself we would like to thank you and the other people for taking time out of you busy schedule to meet with us and review our problem. As you indicated Lenny being the contact person for K&L Service failed to provide the needed info and documents to the village and on time thus causing the loss of the licenses to re - open as a gas station and as you indicated there are other business providing services needed in your village.

At this point we would like to ask you if you have any connections with people contacting the village regarding the property for a mini market , donut place , or any other business approved by the village,

I will contact a Real Estate lady to come by to evaluate the corner for sale or lease but in any case we will inform you ahead of time . Thanking you again fro your help and co - operation we

Sincerely

A. N. Tsergas P.E.

State of Illinois #72728

From: Thomas Tsergas <analytek@comcast.net>
Sent: Sunday, March 17, 2019 12:46 PM
To: Evan Summers; Scott Viger
Subject: Fwd: Meeting on Wen. Feb. 27

Dear Mr. Summers;

as per the attached e - mail we asked Lenny about a copy of a signed document to the village regarding his role as the contact person and he told us that he does not have anything, if you do have a signed document by Lenny we would like to have a copy if it is possible, please let me know and we can stop by to pick it up

Thanks again for all your help and co - operation in this matter , we remain

Sincerely

A.N. Tsergas P.E.

State of Illinois #72728

----- Original Message -----

From: Thomas Tsergas <analytek@comcast.net>
To: ESummers@bensenville.il.us
Cc: sviger@bensenville.il.us
Date: February 28, 2019 at 3:39 PM
Subject: Meeting on Wen. Feb. 27

Dear Mr. Summers ;

In behalf of K. Giannoudakos and myself we would like to thank you and the other people for taking time out of you busy schedule to meet with us and review our problem. As you indicated Lenny being the contact person for K&L Service failed to provide the needed info and documents to the village and on time thus causing the loss of the licenses to re - open as a gas station and as you indicated there are other business providing services needed in your village.

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I will contact a Real Estate lady to come by to evaluate the corner for sale or lease but in any case we will inform you ahead of time . Thanking you again fro your help and co - operation we

Sincerely

A. N. Tsergas P.E.

From: artwoods@woodsdcg.com
Sent: Monday, August 7, 2017 5:41 PM
To: Kurtis Pozsgay
Subject: 1301 W Irving Conditional Use Pppermit Application revised
Attachments: BENSENVILLE CDC COND USE PERMIT APPLICATION 1301 W Irving 08 07 17.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Kurtis,
See revised application I left off the responses to the questions.

Kurtis,
Attached please find the Conditional use Permit Application for 1301 W. Irving Pk. Rd.,
Could you confirm deposit amount I cant remember what Mr Viger told me.

If you have any question please contact me.

Respectfully

Arthur Woods
General Manager
Woods Design Group
"Changing Business by Design"
artwoods@woodsdcg.com
630-886-5163



BENSENVILLE

COMMUNITY & ECONOMIC
DEVELOPMENT

COMMUNITY DEVELOPMENT
COMMISSION

**DEVELOPMENT
REVIEW PROCESS**

June 14, 2017

(Ord. 27-2004, 4-6-2004)

**Village of
Bensenville Goals
for 2020**

Vibrant Major Corridors

Enrich the Lives of Village Residents

Financially Sound Village Providing

Quality Customer Oriented Service

Become a Major Business and Corporate Center

Safe and Beautiful Village

1. Application Submittal and Requirements

Prior to submitting an application, it is suggested that applicants meet with the Community and Economic Development staff to review the application requirements and procedures. Incomplete applications cannot be accepted and/or processed. All questions regarding the request should be directed to the Community and Economic Development Department at (630) 350- 3413.

2. Village Staff Review & Recommendations

1. Village staff will transmit the complete application to Village departments for their review.
2. The Village staff then prepares a staff report that is sent to the applicant.
3. The applicant shall respond to the staff report either by making requested/required revisions or stating why such revisions should not be made.
4. Upon resubmittal the applicant's responses will be reviewed by the Village Departments.
5. Final staff report and recommendation is prepared.
6. Only after this final staff report and recommendation are complete can a Public Hearing date be scheduled and the public review portion of the process begins.

3. Public Review & Decision

There are three distinct sections to the Public Review; the Public Hearing before the CDC, the Village Board Community and Economic Development Committee (CEDC) meeting and the full Village Board meeting. All fees and Village staff services associated with the Public Review can be found on the attached fee schedule.

Not less than 15 days nor longer than 30 days prior to the Public Hearing a three-pronged notice approach is required:

1. The Village publishes a Legal Notice of the Public Hearing in a local newspaper. The cost is deducted from the application escrow.
2. The Village will provide written notice to owners of record within 250' (exclusive of Rights – Of – Way). These written notices are sent via first-class mail by Village Staff. Village Staff will then complete the Certificate of Mailing Affidavit for the application. The cost of the mailing will be deducted from the application escrow.
3. The Village posts the notice of Public Hearing sign(s) on the property. A small fee to be deducted from the application escrow.

A) CDC Public Hearing & Non-binding Recommendation

The CDC conducts the Public Hearing on the 1st Tuesday night of the month at 6:30 PM. The applicant, municipal staff and general public will make presentations, written comments are also accepted. At the close of the Public Hearing, the CDC discusses the request and then makes Findings of Fact and a non-binding recommendation to the Village President and Board of Trustees.

B) Village Board Community and Economic Development Committee (CEDC)

The CEDC is one of the Village Board's Standing Committees and meets on the 3rd Tuesday evening of the month at 6:00 PM. The committee reviews the application, staff report Findings of Fact and recommendation from the CDC. The applicant should be present at this meeting to answer any questions or make a brief presentation if necessary. The CEDC will vote on the application and forward the vote to the full Village Board or remand the request back to the CDC for additional discussion.

C) Village Board

The full Village Board has the final decision making authority on the application. Our Village Board meets the 2nd and 4th Tuesday evening of the month at 6:30 PM. A draft Ordinance is prepared by staff for the Village Board's review and consideration. The Board will discuss the request and vote on the Ordinance. The Village Clerk will forward a copy of the approved ordinance to you in the weeks following the Village Board meeting.

For Office Use Only

Date of Submission: _____ MUNIS Account #: _____ CDC Case #: _____

COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: 1301 W. IRVING PK RD, BENSONVILLE

Property Index Number(s) (PIN): 03.15.222.013, 03.15.222.019

A. PROPERTY OWNER:

① LEONIDAS BAIRAKTARIS & ② KYRIAKOS GIANNOUDAKOS

① [REDACTED] MEDINAH [REDACTED] ② [REDACTED] ITASCA [REDACTED]

Name

Corporation (if applicable)

Street

City

State

Zip Code

X

Contact Person

Telephone Number & Email Address

If Owner is a Land Trust, list the names and addresses of the beneficiaries of the Trust.

Property Owner Signature: [Signature] Date: X

B. APPLICANT: ☐ Check box if same as owner

LINCOLNWOOD GAS & FOOD, INC

Name

Corporation (if applicable)

6559 N. LINCOLN AVE.

Street

LINCOLNWOOD

IL.

60712

City

State

Zip Code

JOSE MATHEW

773.754.7230

Contact Person

Telephone Number & Email Address

TENANT

Relationship of Applicant to subject property

Applicant Signature: X [Signature] Date: X 08-01-17

C. ACTION REQUESTED (Check applicable):

- ☐ Annexation
- ☒ Conditional Use Permit
- ☐ Master Sign Plan
- ☐ Planned Unit Development**
- ☐ Plat of Subdivision
- ☐ Rezoning (Map Amendment)
- ☐ Site Plan Review
- ☐ Variance

*Item located within this application packet.

**See staff for additional information on PUD requests

SUBMITTAL REQUIREMENTS (1 original & 1 copy of each):

- ☐ Affidavit of Ownership* (signed/notarized)
- ☐ Application*
- ☐ Approval Criteria
- ☐ Legal Description of Property
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Review Fee (Application Fee + Escrow)
- ☐ Escrow agreement and deposit*
- ☐ Digital Submission of all application materials (CD)

Brief Description of Request(s): (Submit separate sheet if necessary)

Conditional Use Permit, to continue using the existing Gas Station located at 1301 W. Irving Pk. Rd.

as a Gas Station (#03-15-222-013 & 03-15-222-019)

D. PROJECT DATA:

1. General description of the site: Existing corner gas station located in C-2 district
2. Acreage of the site: .39 Acres Building Size (if applicable): 1421 SF Gross
3. Is this property within the Village limits? (Check applicable below)
☒ Yes
☐ No, requesting annexation
☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)
None
5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:	C-2	Gas Station C-Store	Village of Bensenville
North:	RS-5	SFH	Village of Bensenville
South:	C-2	Auto Body/ Repair Shop	Village of Bensenville
East:	C-2	Car Wash	Village of Bensenville
West:	C-2	Retail	Village of Bensenville

E. DEVELOPER'S STAFF (if applicable):

ARCHITECT

Name: N/A

Telephone: _____

Email: _____

ENGINEER:

Name: N/A

Telephone: _____

Email: _____

ATTORNEY

Name: N/A

Telephone: _____

Email: _____

OTHER Woods Design Group, Construction Manager

Name: Art Woods

Telephone: 630-886-5163

Email: artwoods@woodsdg.com

F. APPROVAL CRITERIA:

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."



Municipal Code Section 10-3-3.B Approval Criteria for Variances

1. Special Circumstances

Special circumstances, fully described in the written findings, exist that are peculiar to the property for which the Variance is sought and that do not apply generally to other properties in the same zoning district. And these circumstances are not of so general or recurrent a nature as to make it reasonably practical to provide a general amendment to this Ordinance to cover them.

2. Hardship or practical Difficulties

For reasons set forth in the findings, the literal application of the provisions of this Ordinance would result in unnecessary and undue hardship or practical difficulties for the applicant, as distinguished from mere inconvenience.

3. Circumstances Relate to Property

The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography, or soil conditions. They do not concern any business or activity the present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business, or financial circumstances of any party with interest in the property.

4. Not Resulting from Applicant Action

The special circumstances and practical difficulties or hardship that are the basis for the Variance have not resulted from any act, undertaken subsequent to the adoption of this Ordinance or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any Variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

5. Preserves Rights Conferred by District

A Variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

6. Necessary for Use of Property

The granting of a Variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a Variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

7. Not Alter Local Character

The granting of the Variance will not alter the essential character of the locality nor substantially impair environmental quality, property values, or public safety or welfare in the vicinity.

8. Consistent with Ordinance and Plan

The granting of a Variance will be in harmony with the general purpose and intent of this Ordinance and of the General Development Plan and other applicable adopted plans of the Village of Bensenville, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

9. Minimum Variance Needed

The Variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.



Municipal Code Section 10-3-4:C Approval Criteria for Conditional Uses

1. Traffic

Any adverse impact of types or volumes of traffic flow not otherwise typical of Allowed Uses in the zoning district has been minimized.

2. Environmental Nuisance

Any effects of noise, glare, odor, dust, waste disposal, blockage of light or air, or other adverse environmental effects of a type or degree not characteristic of Allowed Uses in the district, have been minimized.

3. Neighborhood Character

The proposed use will fit harmoniously with the existing character of existing Allowed Uses in its environs. Any adverse effects on environmental quality, property values, or neighborhood character beyond those normally associated with Allowed Uses in the district have been minimized.

4. Use of Public Services and Facilities

The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of Allowed Uses in the district, nor generate disproportionate demand for new services or facilities, in such a way as to place undue burdens upon existing development in the area.

5. Public Necessity

The proposed use at the particular location requested is necessary to provide a service or a facility which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

6. Other Factors

The use is in harmony with any other elements of compatibility pertinent in the judgment of the Board to the Conditional Use in its proposed location.



Municipal Code Section 10-3-5: Approval Criteria for Zoning Map Amendments

1.Support for Classification:

a. Compatible with Use or Zoning

The uses permitted under the proposed district are compatible with existing uses or existing Zoning of property in the environs, or

b. Supported by Trend of Development

The trend of development in the general area since the original zoning was established supports the proposed classification, or

c. Consistent with Village Plans

The proposed classification is in harmony with objectives of the General Development Plan and other applicable Village plans as reviewed in light of any changed conditions since their adoption.

2. Furthers Public Interest

The proposed zoning classification promotes the public interest. It does not solely further the interest of the applicant.

3. Public Services Available

Adequate public services---such as water supply, sewage disposal, fire protection, and street capacity---are anticipated to be available to support the proposed classification by the anticipated date of issuance of a Certificate of Occupancy.

WOODS DRESIGN GROUP, as Construction Managers for

Client: (Tenant/Lessee) Lincolnwood Gas & Food, Inc

Municipal Code section 10-3-4:C Approval Criteria for Conditional Use Permit

Project Address: 1301 W. Irving Pk. Rd., Bensenville Illinois

- 1) **Traffic Impact:** the area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.
- 2) **Environmental Nuisance:** The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.
- 3) **Neighborhood Character:** The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sites bordered by similar commercial uses and has been in existence since 1956.
- 4) **Use of Public services and facilities:** The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.
- 5) **Public Necessity:** The prosed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.
- 6) **Other Factors:** In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center, I would contend that it fits in well with its neighbors.
- 7) **History/Comment:** If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

STATE OF ILLINOIS

)

)SS.

COUNTY OF DUPAGE AND COOK

)

AFFIDAVIT OF OWNERSHIP

I LEONIDAS K. BAIRAKTARIS the undersigned Affiant, being first duly sworn,
on oath states:

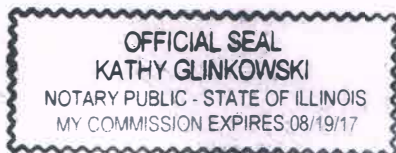
1. That Affiant has personal knowledge of the representations and statements made herein, and has examined all necessary documents, records of ownership and such other information as is required to confirm the statements and representations herein;
2. That the owner(s) and contract purchaser(s), if any, as set forth on the Petition attached hereto is (are) the owner(s) of record and contract purchasers of said property;
3. That all consents to the attached Petition required of lenders or of others holding an interest in the property have been obtained;
4. This Affidavit of Ownership is given to induce the Village of Bensenville, without further inquiry as to ownership or purchase interest, to rely on said statements and representations and to process and set for Public Hearing the Petition as attached hereto; and,
5. Affiant is aware of and has been advised that any false statement set forth in this Affidavit of Ownership may subject Affiant to criminal sanctions for perjury, punishable as provided by the statutes of the State of Illinois in relation to the crime of perjury.

IN WITNESS WHEREOF, the undersigned has executed this Affidavit of Ownership
this 3 day of, August 2017.

Leonidas Bairaktaris
Signature

SUBSCRIBED and SWORN to
before me this 3 day of, August, 2017

[Signature]
Notary Public



STATE OF ILLINOIS

)

)SS.

COUNTY OF DUPAGE AND COOK

)

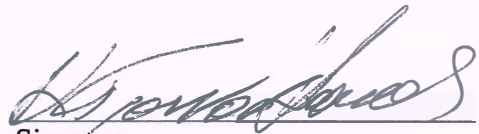
AFFIDAVIT OF OWNERSHIP

I KYRIAKOS GIANNODAKOS the undersigned Affiant, being first duly sworn,
on oath states:

1. That Affiant has personal knowledge of the representations and statements made herein, and has examined all necessary documents, records of ownership and such other information as is required to confirm the statements and representations herein;
2. That the owner(s) and contract purchaser(s), if any, as set forth on the Petition attached hereto is (are) the owner(s) of record and contract purchasers of said property;
3. That all consents to the attached Petition required of lenders or of others holding an interest in the property have been obtained;
4. This Affidavit of Ownership is given to induce the Village of Bensenville, without further inquiry as to ownership or purchase interest, to rely on said statements and representations and to process and set for Public Hearing the Petition as attached hereto; and,
5. Affiant is aware of and has been advised that any false statement set forth in this Affidavit of Ownership may subject Affiant to criminal sanctions for perjury, punishable as provided by the statutes of the State of Illinois in relation to the crime of perjury.

IN WITNESS WHEREOF, the undersigned has executed this Affidavit of Ownership

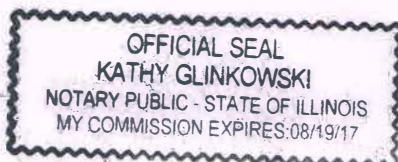
this 3 day of, August 2017.


Signature

SUBSCRIBED and SWORN to

before me this 3 day of, August, 2017


Notary Public



APPEARANCE FEES

The fee schedule for items that require appearance before the Community Development Commission and/or Village Board as follows:

ACTION REQUIRED	FEE
Annexation Petition	\$250
Appeal of Director	\$500
Comprehensive Plan Map Amendment	\$500
Comprehensive Plan Text Amendment	\$500
Conditional Use Permit	\$500
Variation for Residential Use	\$100
Variation for Nonresidential Use	\$300
Zoning Map Amendment	\$500
Zoning Text Amendment	\$500

	Less Than 2 Acres	2-10 Acres	10-25 Acres	Greater than 25 Acres
Conditional Use Permit for a PUD and associated Preliminary Plan/ Plat	\$750	\$1,000	\$1,500	\$2,000
Major Change	\$250	\$500	\$750	\$1,000
Minor Change	\$250	\$250	\$250	\$250
Final PUD Plan/Plat or major change	\$750	\$1,000	\$1,250	\$1,500
Minor Change	\$250	\$250	\$250	\$250
Site Plan Review ^{*1}	\$250	\$500	\$750	\$1,000
Preliminary Subdivision Plat	\$500	\$750	\$1,000	\$1,500
Final Subdivision Plat	\$750	\$1,000	\$1,250	\$1,500

Architectural Review^{*2}

Recording of Document^{*2}

Recorder Public Hearing Notice^{*2}

Local newspaper

Sign construction and posting

Letter Mailing

Assessed by County

As billed by publication

\$10 per sign

Actual postage cost

^{*1}No public hearing fee is involved.

^{*2}Cost will be billed to petitioner to be deducted from escrow.

****Application fees are non-refundable and payment does not constitute approval of project.****

In cases where the developer is petitioning for more than one request, fees shall be collected for each request. An exception in instances where a planned unit development and subdivision plat or preliminary/final plat are being requested simultaneously one fee is collected.

Additional Staff Review Fee: Four (4) staff reviews are included with the total fee submitted with respect to any application/petition. An owner of property, or agent thereof, submitting any application or petition with the Village which, either at the applicant's request or in the opinion of the Village staff, requires more than four (4) plan reviews prior to the application/petition being reviewed by the Community Development Commission, shall pay to the Village five hundred dollars (\$500) for each plan review in excess of four.

Reimbursement of Fees: In addition to the fixed fee(s) provided above, each owner and petitioner/applicant shall enter into a reimbursement of fees agreement with the Village. The reimbursement of fees agreement shall encompass all applications or petitions pending with the Village, including any additional matters not set forth hereinabove. The reimbursement of fees agreement shall be in the following form:

For Office Use Only

DATE: _____ MUNIS Acct. # _____ CDC Case #: _____

REVIEW ESCROW/REIMBURSEMENT OF FEES

1. OWNER

Name: _____

Address: _____

Telephone: _____ Email: _____

If Owner is a Land Trust, the names and addresses of the beneficiaries of the Trust:

2. APPLICANT

Name: Lincolnwood Gas & Food, Inc

Address: 6559 N. Lincolnwood Ave

Telephone: 630-886-5163 Email: Art woods
artwoods@woodsdc.com

3. LOCATION OF PROPERTY

Address: 1301 W. Irving pk. rd.

Acreage: .39 Acres

Property Index Number (s): 03-15-222-013 & 03-15-222-019

4. LEGAL DESCRIPTION:

(Please attach as "Exhibit A")

Village of Bensenville Conditional Use Permit

EXHIBIT "A"

1301 W. Irving Pk. Rd., Bensenville Illinois

Legal Description

Lots 3, 4, 5, 6 and 7 in Block 40 in the first addition to Percy Wilson's Irving Park Manor, being a subdivision in Sections 10, 11, 14, and 15, Township 40 North, Range 11, East of the Third Principal Meridian, according to the plat thereof recorded May 7, 1926 as Document 213044, except that part of Lot 3 taken for Roadway purposes by Document R85-18882, in DuPage County, Illinois

PIN : 03-15-222-013 & 03-15-222-019

Address: 1301 W. Irving Park Rd. Bensenville, IL

60106

106

REIMBURSEMENT OF FEES

Should the Village, in its sole and exclusive discretion, determine that it is necessary or desirable for the Village to obtain professional services, including, but not limited to, attorneys, engineers, planners, architects, surveyors, court reporters, traffic, appraisers, environmental, drainage or other consultants, including full and/or part time site inspection services during the actual construction of any required improvements, and/or to incur costs related to any required notices or recordations, in connection with any Petition or Application filed by the Petitioner/Applicant, a copy of which is attached hereto and incorporated herein as Exhibit B, then the Petitioner/Applicant and Owner shall be jointly and severally liable for the payment of such professional fees and costs, as shall actually be incurred by the Village, plus an additional ten percent (10%) to cover the Village's administrative expenses.

The President and Board of Trustees and/or Village Administrator are hereby authorized to assign the afore described services to the Village staff or to consultants, as they deem appropriate. When the Village staff render any services contemplated by this Agreement, then in such case the Village shall be reimbursed for its cost incurred in providing said services. Said reimbursement shall be at the rate of fifty dollars (\$50.00) per hour, plus an additional ten percent (10%) to cover the Village's administrative expenses.

At the time the Petitioner/Applicant requests action from the Village, he shall deposit the following amounts with the Village as an initial deposit to collateralize the obligation for payment of such fees and expenses:

Number of Review Items	< 5 acres	5≤15 acres	16≤75 acres	>75 acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 to 3	\$2,000	\$4,000	\$5,000	\$7,000
≥ 4	\$3,000	\$5,000	\$7,000	\$10,000

The Village shall deduct the incurred expenditures and costs from the funds deposited. If the remaining deposit balance falls below \$500.00, the Petitioner/Applicant, upon notice by the Village, shall be required to replenish the deposit to its original amount. The Village shall send the Petitioner/Applicant regular invoices for the fees and costs incurred. The Petitioner/Applicant shall replenish the deposit amount within fifteen (15) days of receipt of an invoice directing the replenishment of said deposit. Failure to remit payment within fifteen (15) days will cause all reviews to cease.

A Petitioner/Applicant who withdraws his Petition or Application may apply in writing to the Village Clerk for a refund of his initial deposit. The Village Manager may, in his discretion, approve such refund less any actual fees and costs, which the Village has already paid or incurred relative to the Petition or Application.

Upon the failure of the Petitioner/Applicant or Owner to reimburse the Village in accordance with this Agreement, no further action shall be undertaken on any Petition or Application by the Village President and Board of Trustees, or by any other official or quasi-official individual or body

thereunder, including the conduct of any hearings or deliberations, the granting of any relief or approvals, and the execution or recording of any documents, until all such outstanding fees are paid in full and/or the initial deposit is restored to its full amount. Further, the Village may deny any application for a grading, building or other permit if such amounts have not been paid in full. Upon any failure to reimburse the Village in accordance with this Section, the Village may in its discretion, apply any or all of the initial deposit to

the outstanding balance due and/or elect to place a lien against any real property associated with the Petitioner/Applicant's Petition or Application. In the event such amounts are not paid in full within sixty (60) days after the date when the statement of such amounts due is delivered or deposited in the U.S. mail by the Village, such amounts due shall be deemed delinquent and thereafter a delinquency charge of one percent (1%) per month, or portion thereof, with a minimum delinquency charge of \$5.00 per month, shall be added to the amount due until such amount due, including all delinquency charges, is received by the Village. Said lien shall be in an amount equal to the outstanding amount owed to the Village.

The remedies available to the Village as set forth hereinabove are non-exclusive and nothing herein shall be deemed to limit or waive the Village's right to seek relief of such fees against any or all responsible parties in a court of competent jurisdiction.

Any remaining balance of any funds deposited pursuant to this Agreement shall be refunded at such time as the Village accepts all required improvements within the development, pursuant to any improvement agreement executed in connection with the development of the real property associated with Petitioner's/Applicant's Petition or Application. In the event that no improvements are required, any such balance shall be refunded upon the later occurring of the following events: completion of Village deliberation on the petition or application, recordation of all necessary documents associated with the petition or application, or issuance of a building permit upon the real property in question.

BY SIGNING BELOW, THE PETITIONER/APPLICANT AND OWNER ACKNOWLEDGE THAT EACH OF THEM HAS READ THE FOREGOING PARAGRAPHS AND EACH OF THEM FULLY UNDERSTANDS AND AGREES TO COMPLY WITH THE TERMS SET FORTH HEREIN. FURTHER, BY SIGNING BELOW, EACH SIGNATORY WARRANTS THAT HE/SHE/IT POSSESSES FULL AUTHORITY TO SO SIGN.

THE PETITIONER/APPLICANT AND OWNER AGREE THAT PETITIONER/APPLICANT AND OWNER SHALL BE JOINTLY AND SEVERALLY LIABLE FOR PAYMENT OF FEES REFERRED TO IN APPLICABLE SECTIONS OF THE ORDINANCES OF THE VILLAGE OF BENSENVILLE, AND AS SET FORTH HEREIN.

Linedwood Gas & Food, Inc.

Petitioner/Applicant

Owner

Date

8/7/17

Village of BENSENVILLE

By: _____
Village Administrator

Attest

Date

From: Art <artwoods@woodsdc.com>
Sent: Thursday, August 10, 2017 6:33 PM
To: Kurtis Pozsgay
Subject: Re: 1301 W Irving Conditional Use Permit Application revised

Kurtis,
Thanks for the info, I'm at a leadership conference today and tomorrow but will touch base with you Monday

Respectfully
Arthur Woods Jr.
General Manager

The information contained in this email and any attachments is confidential and may be subject to copyright or other intellectual property protection. If you are not the intended recipient, you are not authorized to use or disclose this information, and we request that you notify us by reply mail or telephone and delete the original message from your mail system.

On Aug 10, 2017, at 4:58 PM, Kurtis Pozsgay <KPozsgay@bensenville.il.us> wrote:

Art,

Please find attached the four (4) permit files we discussed. Let me know if you have any questions.

Kurtis

From: artwoods@woodsdc.com [<mailto:artwoods@woodsdc.com>]
Sent: Monday, August 7, 2017 5:41 PM
To: Kurtis Pozsgay <KPozsgay@bensenville.il.us>
Subject: 1301 W Irving Conditional Use Pppermit Application revised

Kurtis,
See revised application I left off the responses to the questions.

Kurtis,
Attached please find the Conditional use Permit Application for 1301 W. Irving Pk. Rd.,
Could you confirm deposit amount I cant remember what Mr Viger told me.

If you have any question please contact me.

Respectfully

Arthur Woods
General Manager
Woods Design Group
"Changing Business by Design"
artwoods@woodsdc.com
630-886-5163

<1301 Irving bldg alterations permit file.pdf>

<1301 Irving interior permit file.pdf>

<1301 Irving sign permit file.pdf>

<1301 Irving upgrades permit file.pdf>

From: Art <artwoods@woodsdcg.com>
Sent: Friday, August 25, 2017 4:58 PM
To: Kurtis Pozsgay
Subject: Re: 1301 W Irving

Thanks

Respectfully
Art woods
General Manager
Woods Design Group,LLC.
"Changing Lives One Design at a Time"
Artwoods@woodsdcg.com
630-886-5163

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On Aug 25, 2017, at 4:49 PM, Kurtis Pozsgay <KPozsgay@bensenville.il.us> wrote:

Art,

Attached is the list of inspections since 2014. Not a lot done or re-inspected.

Kurtis

From: Kurtis Pozsgay
Sent: Friday, August 25, 2017 4:29 PM
To: 'artwoods@woodsdcg.com' <artwoods@woodsdcg.com>
Cc: Scott Viger <SViger@bensenville.il.us>
Subject: 1301 W Irving

Art,

Got your message. I apologize as I've been a little crazy getting some things done before my vacation next week. We are putting together a list of inspections for you and Scott should be able to get back to you next week with them. As far as we know, we just have the one set of plans.

Contact Scott if you have any immediate concerns. I am out until after Labor Day.

Thanks,

Kurtis Pozsgay, AICP
Senior Planner

<image001.png>
12 South Center Street, Bensenville. IL 60106
P: 630.350.3396 C: 517.648.4971 L: [linkedin.com/in/kpozsgay](https://www.linkedin.com/in/kpozsgay)

<image002.jpg> <image003.jpg> <image004.png>

<image005.png>

<1301 Irving inspections.pdf>

From: artwoods@woodsdcg.com
Sent: Thursday, October 5, 2017 2:54 PM
To: Kurtis Pozsgay
Subject: RE: 1301 Irving

Kurtis,

Thanks for the info and I will get it taken care of, also would like to get those vehicles out of there.

I hope to have prints we can look at by end of next week.

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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----- Original Message -----

Subject: 1301 Irving
From: "Kurtis Pozsgay" <KPozsgay@bensenville.il.us>
Date: 10/5/17 2:00 pm
To: "artwoods@woodsdcg.com" <artwoods@woodsdcg.com>

Art,

Circling back on our last conversation about creating new plans up to code. Scott said that is exactly what he is looking for. We need a new set of plans that meet current codes.

He also had no issues with you cleaning up the site. In fact, he mentioned the site had one of those donation boxes. We have been trying to get rid of all these as they have been put in without approval. If you have contact for the company and can have them remove it, it would be a big help.


Let me know if you have any other questions or concerns.

Kurtis Pozsgay, AICP
Senior Planner



12 South Center Street, Bensenville, IL 60106
P: 630.350.3396 C: 517.648.4971 L: [linkedin.com/in/kpozsgay](https://www.linkedin.com/in/kpozsgay)





From: Art <artwoods@woodsdc.com>
Sent: Wednesday, November 8, 2017 8:18 AM
To: Kurtis Pozsgay; Tom Knight
Subject: 1301 Irving

FYI,
They will be changing out panels and removing the emblems/branding from both sides of the canopy today.

Respectfully
Art woods
General Manager
Woods Design Group,LLC.
"Changing Lives One Design at a Time"
Artwoods@woodsdc.com
630-886-5163

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From: Art <artwoods@woodsdc.com>
Sent: Wednesday, November 8, 2017 3:32 PM
To: Scott Viger; Kurtis Pozsgay; Tom Knight
Subject: 1301 w Irving Signage
Attachments: IMG_0243.jpg; ATT00001.txt; IMG_0244.jpg; ATT00002.txt; IMG_0245.jpg; ATT00003.txt; IMG_0246.jpg; ATT00004.txt; IMG_0247.jpg; ATT00005.txt

All is removed

Does Lenny have or is there a court date on this tomorrow?

From: artwoods@woodsdcg.com
Sent: Tuesday, November 14, 2017 4:06 PM
To: Kurtis Pozsgay
Subject: 1301 Irving
Attachments: 1301 W. Irving Park Bensenville IL Permit Set-1.pdf

Kurtis,
Attached please find electronic copy of plans as discussed for 1301 Irving. I should have the sign graphics in a couple days.

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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BUILDING RENOVATION FOR:
LINCOLNWOOD GAS AND FOOD, INC
1301 W. IRVING PARK ROAD, BENSENVILLE, IL. 60106

GENERAL NOTES

1. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN CONSTRUCTION OF THE PROJECT INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.

2. ALL CODES, TRADE STANDARDS AND MANUFACTURERS' INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST EDITION.

3. DETAILS AND SELECTION OF THE DRAWINGS ARE SHOWN AT THE SPECIFIC LOCATIONS AND ARE INTENDED SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAIL NOTED "TYPICAL" IMPLY ALL CONDITIONS TREATED EARLY MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS.

4. ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE DRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, REGLETS, BOLT SETTINGS, SLEEVES, ETC.

5. CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICE ONES AND EXISTING SITE AREA FROM TIEORATION OR DAMAGE.

6. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH DRAWINGS OR THE REQUIRED CODES.

7. CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS.

8. CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENT OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATIONS OF THE WORK.

9. THE CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED, TO ASSURE THE ORDERLY PROGRESS OF THE WORK.

10. CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOLING, PAINT, OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

11. ALL MANUFACTURERS' PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS 'OR EQUAL' ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED. HOWEVER, ALL SUBSTITUTIONS MUST BE APPROVED BY THE CONSTRUCTION MANAGER.

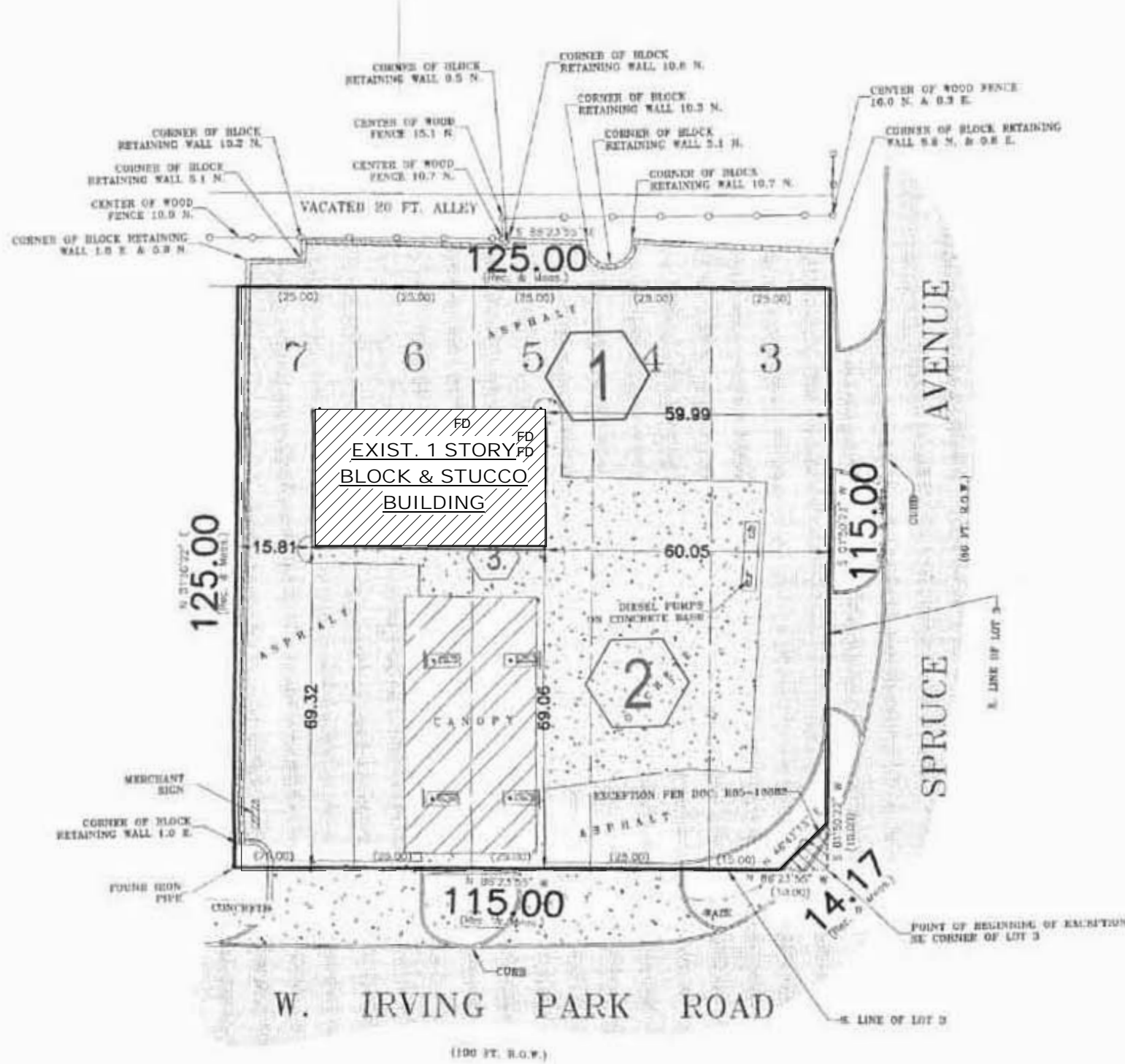
12. THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.

SPECIAL NOTES

THE ARCHITECT IS NOT SUPERVISING CONSTRUCTION OF THIS BUILDING; THEREFORE, THE USE OF THESE DRAWINGS BY THE OWNER OR ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES AND FOR ANY SAFETY PRECAUTION OR PROGRAMS IN CONNECTION WITH THE WORK. FURTHER, THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO ANY COSTS OR PROBLEMS ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN OR WORKMAN, OR FOR THEIR FAILURE TO COMPLY WITH THESE PLANS AND SPECIFICATIONS.

SPECIAL SAFETY NOTE

ALL CONTRACTORS, SUB-CONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE COURSE OF THEIR ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AS WELL AS OTHER AND IN CARE OF THEIR PROPERTY. EACH AS REPRESENTATIVES OF THEIR EMPLOYEES SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPLISH THEIR WORK AS SAFE AND MEET ALL REGULATIONS OF THE OCCUPATIONAL, SAFETY AND HAZARD ACT OR INDICATE SATISFACTION CONCERNING SAFETY AND PULL RESPONSIBILITY FOR ACCIDENTS AND/OR DAMAGE. IF NECESSARY TO RENDER THE JOB-SITE SAFE, IF THE WORK OF THE OTHER PARTIES IS UPON INSPECTION, FOUND AT ANY TIME TO BE UNSAFE, THE CONTRACTOR OR SUB-CONTRACTOR SHALL IMMEDIATELY STOP ALL WORK AND NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND OWNER. THE BEGINNING OF WORK SHALL INDICATE ACKNOWLEDGEMENT AND ACCEPTANCE OF THESE REQUIREMENTS.



1
1 C1
SITE PLAN
1" = 30'-0"

CHRIS WINOGRADZKI ARCHITECTS, LTD.
ARCHITECTS & BUILDERS
115 OAKWOOD AVE., DES PLAINES, IL 60016 PH. # 847.698.4114
e-mail: christopher@cw-architects.com

BUILDING CODES:

International Residential Code (2012)

International Fire Code (2012)

International Energy Conservation Code (2012) and State of Illinois Energy Code

National Electric Code (2011)

Illinois State Plumbing Code (2004)

International Mechanical Code (2012)

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE WORK TO BE PERFORMED SHOWN IN THESE DRAWINGS COMPLY WITH THE REQUIREMENTS OF INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015

LICENCE No. 001.014465
EXPIRATION DATE: 11/30/2018

SIGNED: [Signature]
DATE: 10-11-17

CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE ALL LOCAL BUILDING AND ZONING ORDINANCES.

LICENCE No. 001.014465
EXPIRATION DATE: 11/30/2018

SIGNED: [Signature]
DATE: 10-11-17



BUILDING DATA		
BUILDING CODE		
BUILDING CODE:	INTERNATIONAL BUILDING CODE, 2015 EDITION W/ AMENDMENTS	
PLUMBING CODE:	ILLINOIS PLUMBING CODE, 2014 EDITION	
HVAC CODE:	INTERNATIONAL MECHANICAL CODE, 2015 EDITION W/ AMENDMENTS	
ELECTRICAL CODE:	NATIONAL ELECTRIC CODE, 2014 EDITION W/ AMENDMENTS	
FUEL GAS CODE:	INTERNATIONAL FUEL GAS CODE, 2015 EDITION W/ AMENDMENTS	
ENERGY CODE:	ILLINOIS ENERGY CONSERVATION CODE, 2015 EDITION	
FIRE CODE:	INTERNATIONAL FIRE CODE, 2015 EDITION W/ AMENDMENTS	
VILLAGE/ CITY:	VILLAGE OF BENSENVILLE CODE OF ORDINANCES	
BUILDING CODE INFORMATION		
	ORDINANCE	PROPOSED
CONSTRUCTION TYPE:	TYPE II B	TYPE II B

FIRE-RESISTIVE REQUIREMENTS	
A. ALL WALL, FLOOR AND CEILING FINISHES FLAME SPREAD RATINGS SHALL COMPLY WITH THE LOCAL FIRE PROTECTION CODES AND/OR LOCAL BUILDING CODES.	
B. ALL MATERIALS USED FOR INTERIOR WALL AND CEILING FINISHES AND FOR INTERIOR TRIMS SHALL BE, CLASS 1 W/ A FLAME SPREAD RATING OF 0 TO 25 AND SMOKED DEVELOPED RATING OF 200 & LESS WHEN TESTED IN ACCORDANCE WITH ASTM E84.	
C. ALL MATERIALS USED FOR INTERIOR FLOOR FINISHES SHALL BE, CLASS A W/ A CRITICAL RADIANT FLUX OF 0.45 WATTS PER SQUARE CENTIMETER OR HIGHER.	
D. ALL ROOF COVERINGS SHALL BE CLASSIFIED IN ACCORDANCE WITH THEIR FIRE-RESISTANT PROPERTIES AS FOLLOW: CLASS A ROOF COVERINGS EFFECTIVE AGAINST SEVER FIRE EXPOSURE; CLASS B ROOF COVERINGS EFFECTIVE AGAINST MODERATE FIRE EXPOSURE; CLASS C ROOF COVERINGS EFFECTIVE AGAINST LIGHT FIRE EXPOSURE. INCLUDING (1) BUILDINGS ON ONE-FAMILY OR TWO-FAMILY RESIDENTIAL USE (2) BUILDING OF ROOF FRAME CONSTRUCTION; (3) BUILDING LOCATED OUTSIDE OF THE FIRE LIMITS WHICH ON THE BASIS OF HEIGHT AND AREA COULD BE OF WOOD FRAME CONSTRUCTION UNDER THIS CODE.	
D. PROVIDE MATERIALS AS SCHEDULED OR APPROVED SUBSTITUTE. (ABBREVIATIONS WITHIN THE SCHEDULE DESIGNATE MATERIAL & COLOR. REFER TO FINISH LEGEND WITHIN & FINISH SPECIFICATIONS)	

CODE COMPLIANCE	
OCCUPANCY	
OCCUPANCY CLASS:	M - MERCANTILE
CONSTRUCTION CLASSIFICATION	
CONSTRUCTION TYPE:	FIRE RESISTANCE TYPE II B
STRUCTURAL FRAME	- 0 HRS
BEARING WALLS	- 0 HRS
NON-BEARING (EXTERIOR)	- 0 HRS
NON-BEARING (INTERIOR)	- 0 HRS
FLOOR CONSTRUCTION	- 0 HRS
ROOF CONSTRUCTION	- 0 HRS
COMMON WALLS (BEARING)	- 0 HRS
WALLS BETWEEN RESIDENCE AND GARAGE	N/A
CEILING BETWEEN RESIDENCE AND GARAGE	N/A
DOOR BETWEEN RESIDENCE AND GARAGE	N/A

AIR LEAKAGE, COMPONENT CERTIFICATION AND VAPOR RETARDER REQUIREMENTS	
CONTRACTOR TO CHECK/PROVIDE THE FOLLOWING ITEMS: 1. ALL JOINTS AND PENETRATIONS ARE CAULKED, GASKETED OR COVERED WITH A MOISTURE VAPOR PERMEABLE WRAPPING MATERIAL. MUST BE INSTALLED IN ACCORDANCE TO MANUFACTURERS SPECIFICATIONS. 2. WINDOWS AND DOORS CERTIFIED AS MEETING LEAKAGE REQUIREMENTS 3. COMPONENT R-VALUES AND U-FACTORS LABELED AS CERTIFIED 4. OTHER COMPONENTS HAVE SUPPORTING DOCUMENTATION FOR PROPOSED U-FACTORS 5. INSULATION INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS, IN SUBSTANTIAL CONTACT WITH SURFACE BEING INSULATED, AND IN A MANNER THAT ACHIEVES THE RATED R-VALUE WITHOUT COMPROMISING THE INSULATION 6. BUILDING ENTRANCE DOORS EQUIPPED WITH CLOSING DEVICES 7. VAPOR RETARDER INSTALLED	

Revision Schedule		
Revision Number	Revision Date	Issued by

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BUILDING RENOVATION FOR:

LINCOLNWOOD GAS AND FOOD, INC

1301 W. IRVING PARK ROAD, BENSENVILLE, IL. 60106

TITLE SHEET & SITE PLAN

CHRIS WINOGRADZKI ARCHITECTS, LTD

115 Oakwood Ave., Des Plaines, IL 60016
e-mail: christopher@cw-architects.com
phone: 847-698-4114 fax: 847-219-9993

Date:	10-11-2017
Scale:	As indicated
Drawn:	AGNES
Check:	C.W.
Job:	217030
Sheet:	1 C1 4

<div><div>GENERAL NOTES:</div><div>1. THESE DRAWINGS AND SPECIFICATIONS INCLUDING DESIGNS AND IDEAS REPRESENTED THEREON ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, AND NO PART THEREOF SHALL SE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT EXCEPT THOSE FOR WHICH THAY HAVE BEEN DEVELOPED AND PREPARED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.</div><div>2. THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS "GENERAL COODIIONS OF THE CONTRACT FOR CONSTRUCTION" ARE HERESY MADE II PART OF THESE DRAWINGS AND SPECITIFICATIONS, AS WELL AS THE CONTRACT FOR CONSTRUCTION BY REFERENCE AND THEY SHALL LEGALY ENFORCEABLE TO THE SAME DEGREE AND EXTEND AS IF THEY WERE REPRODROUCED HEREON.</div><div>3. GENERAL CONTRACTOR/CONSTRUCTION MANAGER AND EACH SUBCONTRACTOR SHALL:</div><div>A. VISIT THE SITE, TO VERIFY ALL EXISTING COND ITIONS AND DIMENSIONS BEFORE SUBMITTING BIDS/PRICING AND REPORT TO THE ARCHITECTT ANY DISCREPANCIES OR CONDITIONS WHICH MAY INTERFERE WITH THE EXECUTION OF THE DEPICTED WORK. EXTRAS WILL NOT ALLOWED FOR UNREPORTED DISCREPANCIES OR CONDITIONS.</div><div>B. COMPLY WITH ALL LOCAL, STATE, AND NATIONAL COOES AND ORDINANCES COVERING THE WORK</div><div>C. COMPLY WITH ALL RULES AN O REGULATIONS OF THE OWINER AND/OR BULLDING MANAGEMENT REGARDING SITE ACCESS, DISPOSAL CONTAINER LOCATION, SECURITY, ELEVATOR USE, ETC. AND PAY ASSOCIATES FEES.</div><div>D. PROVIDE ALL MATERIALS AND LABOR WHEATHER STATED OR IMPLIED TO COMPLETE THE WORK AS DESCRIBED ON THESE DRAWINGS AND SPECIFICATIONS.</div><div>E. PERFORM ALL WORK IN A NEAT MID PROFESSIONAL MANNER TAKING CARE NOT TO DAMAGE OR WEAKEN BUILDING SYSTEM OR COMPONENTS BEING MAINTAIN.</div><div>F. IMMEDIATELY REPAIR ALL DAMAGE TO BUILDING SYSTEMS OR COMPONENTS BEING MAINTAINED AT NO COST TO THE OWNER.</div><div>G. GUARANTEE ALL WORK FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF ALL WORK.</div></div>	<div><div>FINISH NOTES:</div><div>1. ALL WALL AND CEILING MATERIALS SHALL BE NO LESS RESISTANT TO FLAME SPREAD THAN CLASS 1--: FLAME SPREAD RATING OF 26 TO 75 AND SMOKE DEVELOPED 450.</div><div>2. PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL PREPARATION OF ALL SURFACES AS REQUIRED FOR APPLICATION OF NEW FINISHES, EXCLUDING THE FLOOR.</div><div>3. FLOOR COVERING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL PREPARATION OF ALL SURFACES AS REQUIRED FOR INSTALLATION OF NEW BASE AND FLOOR COVERING.</div><div>4. ALL WALL AND COLUMN SURFACES EXCEPT AS NOTED OTHERWISE SHALL BE PAINTED WITH A SUITABLE PRIMER AND TWO COATS FLAT LATEX PAINT. REFER TO FINISH SCHEDULE FOR EXACT COLOR(S).</div><div>5. ALL WALL AND COLUMN SURFACES SCHEDULED TO RECEIVE WALL COVERINGS SHALL FIRST BE PAINTED WITH ONE COAT OF AN APPROPRIATE PRIMER. ALL SURFACES SHALL BE DRY, CLEAN AND FREE OF BUMPS AND DEPRESSIONS PRIOR TO INSTALLATION.</div><div>6. ALL CLOSET SHELIVING AND MISCELLANEOUS ITEMS AS DETERMINED SHALL BE PAINTED TO MATCH COLOR SELECTED FOR FINISH OF ADJACENT WALLS.</div><div>7. ALL WALLS AND COLUMNS SHALL RECEIVE BASEBOARD - SEE FINISH FLOOR PLANS FOR FURTHER SPECIFICATION. VINYL BASE SHALL BE STRAIGHT IN AREAS TO BE CARPETED AND COVED IN AREAS TO BE TILED.</div><div>8. CARPET CONTRACTOR SHALL INSTALL CARPET AS INDICATED ON THE CONSTRUCTION PLAN. DIRECT GLUE DOWN INSTALLATION SHALL BE USED UNLESS NOTED OTHERWISE. REFER TO FINISH SCHEDULE FOR EXACT SPECIFICATION.</div><div>9. VINYL COMPOSITE TILE (VCT) SHALL BE INSTALLED AS INDICATED ON THE CONSTRUCTION PLAN. CONSTRUCTION MANAGER TO CONTACT OWNER FOLLOWING INSTALLATION SO ARRANGEMENTS CAN BE MADE TO SEAL AND WAX IT. APPROPRIATE TRANSITION STRIPS SHALL BE INSTALLED AT CHANGE OF FLOOR FINISH LOCATIONS. REFER TO FINISH SCHEDULE FOR EXACT SPECIFICATIONS.</div></div>	<div><div>MILLWORK NOTES:</div><div>1. ALL MILLWORK SHALL COMPLY WITH THE APPROPRIATE SPECIFICATIONS OF THE "ARCHITECTURAL QUALITY STANDARDS ILLUSTRATED" OF THE ARCH ITECTURAL WOODWORK INSTITUTE (AWI) FOR "CUSTOM" GRADE MILLWORK.</div><div>2. MILLWORK CONTRACTOR SHALL VERIFY ALL DIMENSIONS AFFECTING HIS WORK IN THE FIELD PRIOR TO FABRICATION.</div><div>3. MILLWORK CONTRACTOR SHALL FURNISH AND INSTALL ALL INDICATED CABINetry, COUNTERTOPS, HARDWARE AND REQUIRED IN WALL BLOCKING WHERE REQUIRED.</div><div>4. ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE RETARDANT TREATED.</div><div>5. ALL COUNTER AND VANITY TOPS SHALL BE 3/4" THICK WITH 1-1/2" THICK FASCIA. HIGH DENSITY PARTICLE BOARD SHIMMED AND SECURED TO UNDERCOUNTER CABINetry AND/OR CLEATED TO WALLS AND SEALED TO SAME WITH CLEAR SILICON CAULK.</div><div>6. ALL CABINetry SHALL HAVE 3/4" THICK FLUSH OVERHANG TYPE DOORS.</div><div>7. CABINET WALLS AND ALL FACE, FILLER AND BACKUP PANELS SHALL BE 3/4" THICK.</div><div>8. CABINET HARDWARE SHALL INCLUDE ACCURIDE FULL EXTENSION DRAWER SLIDES, STANLEY SELF CLOSING CONCEALED DOOR HINGES, AND STANLEY "U" PULLS WITH FINISH TO MATCH THAT OF THE DOOR HARDWARE. FOLLOWING INSTALLATION, ALL DOORS SHALL BE PROPERLY ADJUSTED AND ALL HARDWARE CHECKED FOR PROPER OPERATION.</div><div>9. ALL CABINET SHELVES SHALL BE ADJUSTABLE ON RECESSED PILASTER STANDARDS AND CLIPS.</div><div>10. CLOSET SHELVES SHALL BE 3/4" THICK HIGH DENSITY PAINT GRADE PARTICLE BOARD WITH A 1/4" HARDWOOD EDGE HUNG ON CO-TINUOUS WALL CLEATS AND PAINTED TO HATCH ADJACENT WALL SURFACE.</div></div>	<div><div>REFLECTED CEILING NOTES:</div><div>1. MECHANICAL AND ELECTRICAL CONTRACTORS SHALL VERIFY CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FROM WHAT IS REPRESENTED.</div><div>2. MECHANICAL CONTRACTOR SHALL LOCATE AND SIZE ALL OUTLETS AND RETURNS, DETERMINE DUCT-RK LAYOUT, THERMOSTAT LOCATIONS AND OTHERWISE DESIGN THE HVAC SYSTEM AND PREPARE ANY REQUIRED DOCUMENTS. THE ENTIRE HVAC SYSTEM SHALL CONFORM TO ALL APPLICABLE CODES.</div><div>3. ACOUSTICAL CEILING SHALL BE BUILDING STANDARD AMSTRONG OR EQUAL 2' x 4' LAYIN CEILING TILE WITH STANDARD EXPOSED GRID SUSPENSION SYSTEM. TILES SHALL BE KERFED AT ALL INTERIOR PARTITION AS DETAIED.</div><div>4. LIGHT FIXTURES SHALL BE AS SPECIFIED ON THE LIGHT FIXTURE SCHEDULE. REFER TO REFLECTED CEILING PLAN FOR TYPE OF MOUNTING (I.E. DRYWALL CEILING, LAYIN, ETC.).</div><div>5. EXIT SIGNS SHALL BE LOCATED AS SHOWN ON EMERGENCY EXIT PLAN - SEE SCHEDULE FOR EXACT SPECIFICATIONS.</div><div>6. ALL EXIT SIGNS, DOWNLIGHTS, SPEAKERS, ETC. LOCATED IN THE CEILING SHALL BE INSTALLED IN THE CENTER OF THE CEILING TILE INDICATED UNLESS DIMENSIONED OTHERWISE.</div><div>7. ALL SUPPLY OR EXHAUST DIFFUSERS SHOWN ON THE REFLECTED CEILING PLAN ARE FOR LOCATION ONLY. MECHANICAL CONTRACTOR SHALL MAKE FINAL DETERMINATIONS.</div><div>8. ALL SWITCHES SHALL BE MOUNTED VERTICALLY AT THE BUILDING STANDARD HEIGHT.</div></div>	<div><div>POWER AND TELEPHONE NOTES:</div><div>1. ELECTRICAL CONTRACTOR SHALL VERIFY CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FROM WHAT IS INDICATED.</div><div>2. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES.</div><div>3. DIMENSIONS LOCATING OUTLETS ARE TO THE CENTERLINES OF THE DEVICES.</div><div>4. WHERE FLOOR OUTLETS ARE GRAPHICALLY SHOWN ADJACENT TO A WALL, THEY SHALL BE WITHIN SIX INCHES OF THE WALL.</div><div>5. ALL FLOOR OUTLETS SHALL BE PIPED THROUGH THE CEILING OF THE SPACE BELOW TO THE DETERMINED LOCATION UNLESS CHANNELING OF THE FLOOR IS DETERMINED TO BE A BETTER AND LESS EXPENSIVE OPTION. ELECTRICAL CONTRACTOR TO INCLUDE IN HIS PRICE WHATEVER CHANNELING OR SCAFFOLDING IS NECESSARY TO DO THE WORK.</div><div>6. ALL WALL OUTLETS SHALL BE MOUNTED HORIZONTALLY TWELVE INCHES ABOVE THE FINISHED FLOOR UNLESS OTHERWISE NOTED.</div><div>7. ELECTRICAL CONTRACTOR SHALL PROVIDE A CONDUIT STUB (SIZE TO BE DETERMINED) FROM THE CEILING AT THE LOCATION OF THE TELEPHONE PANEL.</div><div>8. ALL REQUIREMENTS FOR SPECIAL POYER AND/OR DEVICES AS INDICATED IN DRAWINGS OR OTHERWISE NOTED SHALL BE VERIFIED BY THE ELECTRICAL CONTRACTOR PRIOR TO SUBMITTING PRICE.</div><div>9. ALL WALL ELECTRICAL AND TELEPHONE OUTLET COVERPLATES SHALL BE LEVITON OR EQUAL, WITH WHITE FINISH.</div></div>
<div><div>MATERIAL SPECIFICATIONS</div><div>BUILDING RENOVATION FOR:</div></div>		<div><div>CHRIS WINOGRADZKI ARCHITECTS, LTD</div><div>115 Oakwood Ave., Des Plaines, IL 60016 e-mail: chrisophe@gow-architects.com phone: 647-498-4114 fax: 647-219-9993</div></div> <div><div>LINCOLNWOOD GAS AND FOOD, INC</div><div>1301 W. IRVING PARK ROAD, BENSENVILLE, IL 60106</div></div>		
Date:		10-11-2017		
Scale:				
Drawn:		AGNES		
Check:		C.W.		
Job:		217030		
Sheet:		2 C2		
of		4		

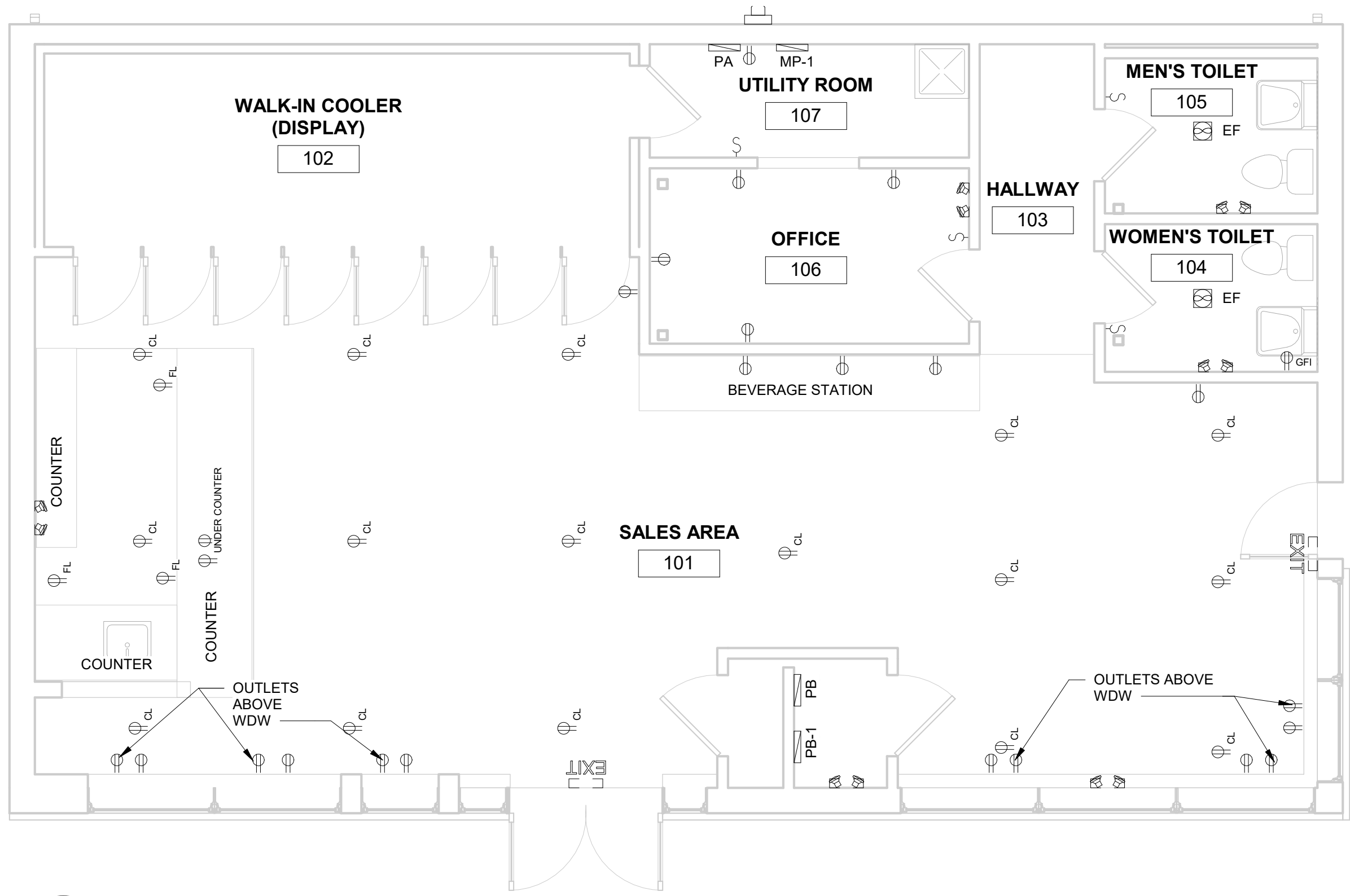
STATE OF ILLINOIS

CHRIS W. WINOGRADZKI

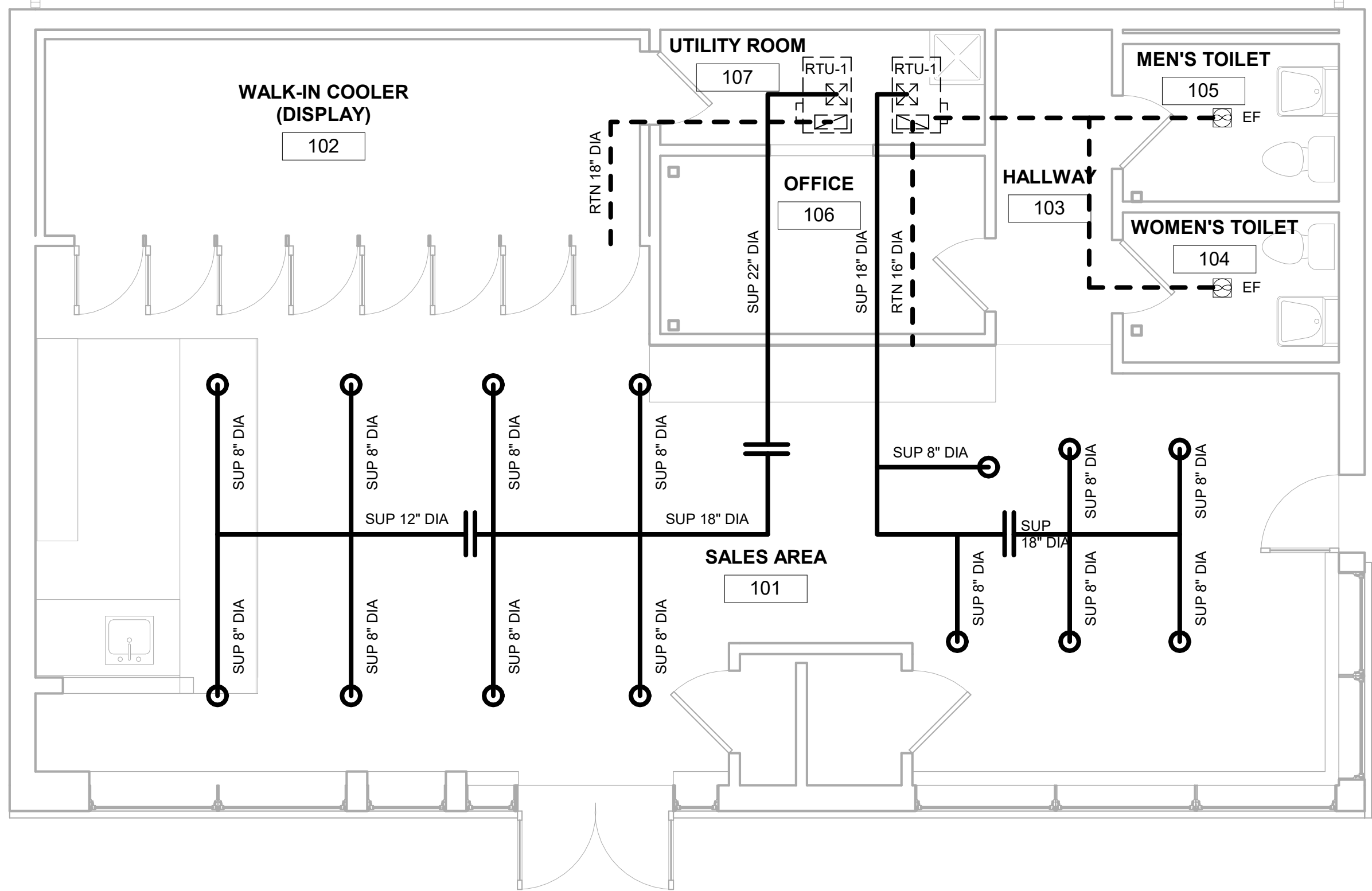
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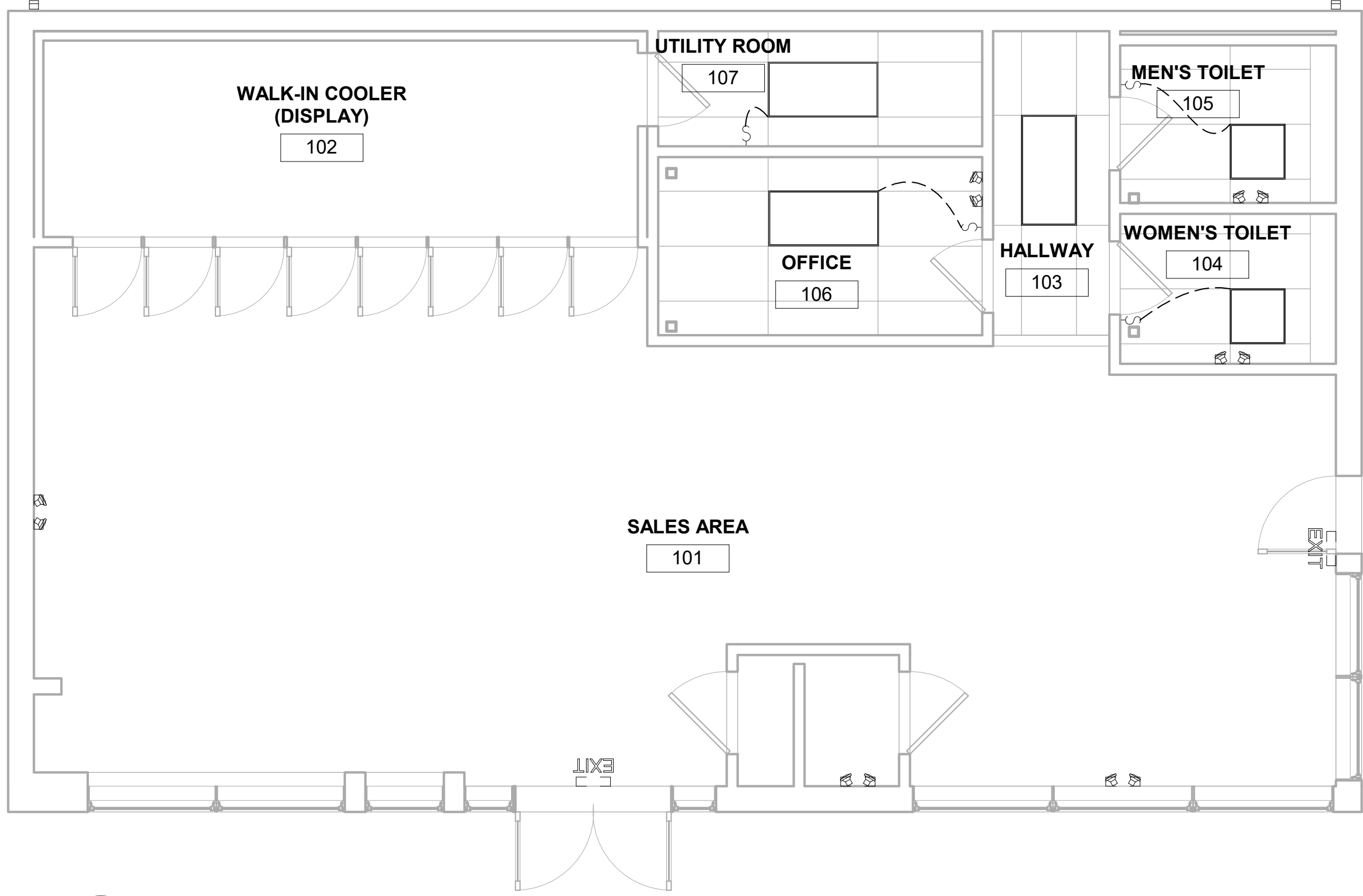


1
4 E-M1
ELECTRICAL PLAN
1/4" = 1'-0"

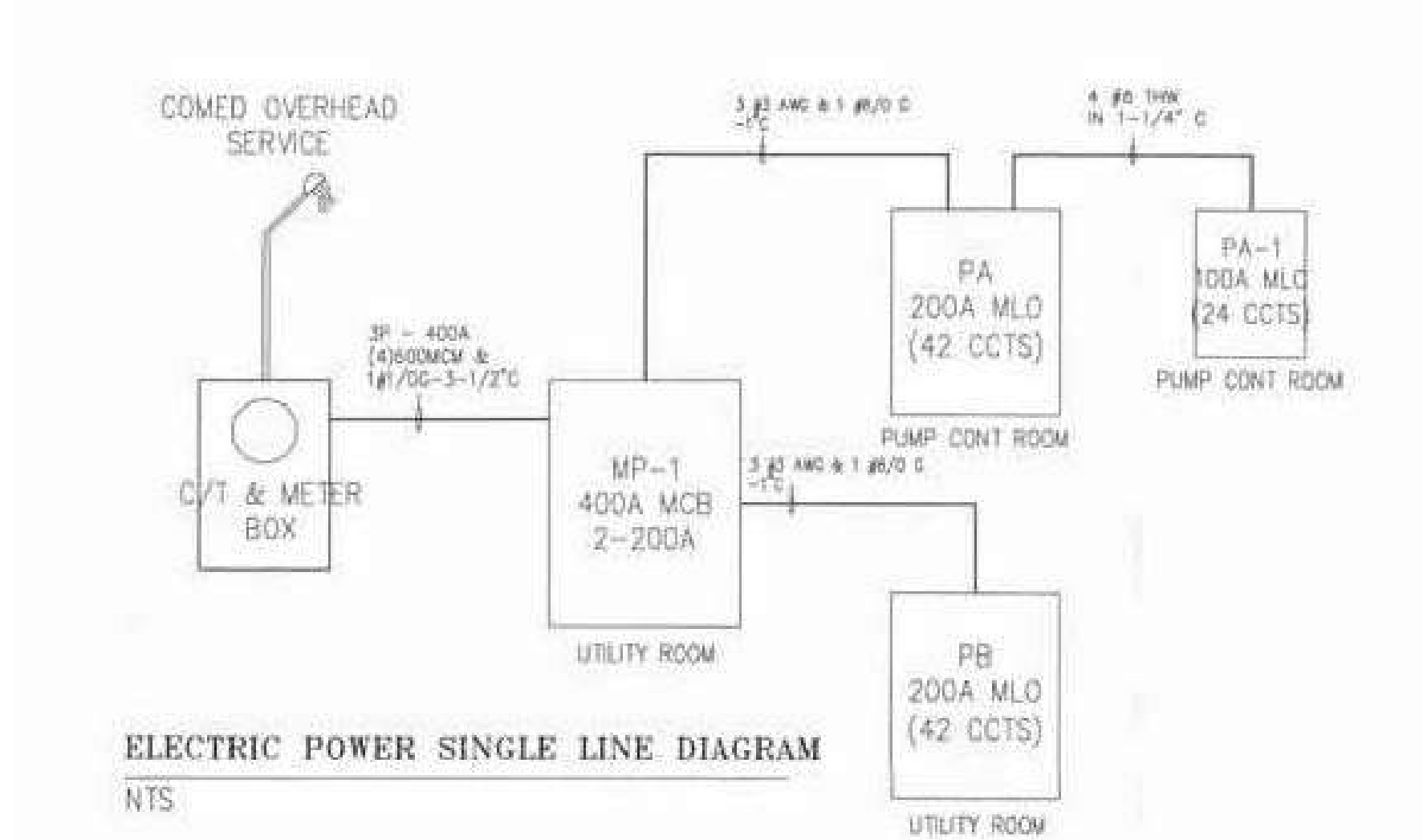


2
4 E-M1
MECHANICAL PLAN
1/4" = 1'-0"

ROOF TOP PACKAGED UNIT SCHEDULE																	
UNIT NO.	LOCATION	MANUFACTURER	CAT. NO.	HTG. INPUT (MBH)	HTG. OUTPUT (MBH)	COOLING (MBH)	CFM	BLOWER MOTOR	BLOWER RPM	E.S.P. (IN. W.C.)	FLUE SIZE (INCH)	W/T (LB)	ELEC. REQ'D (AMPS) MCA/MOCF	NO. OF COMP.	REFRIGERANT	HTG. REFRIGERANT (LB-OZ)	REMARKS
RTU-1 (EXST)	ROOF	RHEEM	RKKA-A060CK13E	135	116	60	1600	208/230-3	1075	0.59"	N/A	573	27.3 / 35	1	R-22	5-10	W/PROGRAMMABLE THERMOSTAT & ECONOMIZER PKG.
RTU-2 (EXST)	ROOF	RHEEM	RKKA-A036CK13E	109	98	36	1200	208/230-3	1075	0.59"	N/A	436	20.8 / 30	1	R-22	5-10	W/PROGRAMMABLE THERMOSTAT & ECONOMIZER PKG.



3
4 E-M1
LIGHTING PLAN
1/4" = 1'-0"



ELECTRIC POWER SINGLE LINE DIAGRAM
NTS



Revision Schedule

Revision Number	Revision Date	Issued by

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BUILDING RENOVATION FOR:

LINCOLNWOOD GAS AND FOOD, INC
1301 W. IRVING PARK ROAD, BENSENVILLE, IL 60106

ELECTRICAL & MECHANICAL PLANS

CHRIS WINOGRADZKI ARCHITECTS, LTD
115 Oakwood Ave., Des Plaines, IL 60016
e-mail: chris@winogradzki.com
phone: 647-496-4114 fax: 647-219-9993

Date: 10-11-2017

Scale: 1/4" = 1'-0"

Drawn: AGNES

Check: C.W.

Job: 217030

Sheet: 4 E-M1

of

4

From: Art <artwoods@woodsdg.com>
Sent: Friday, January 19, 2018 12:11 PM
To: Kurtis Pozsgay
Subject: Gas station

Kurtis,

We should have the last piece of the puzzle by mid next week, I know our sign guy did stop in by you.

I will send complete update next week, and set up meeting to review and submit

Respectfully
Art woods
General Manager
Woods Design Group,LLC.
Artwoods@woodsdg.com
630-886-5163

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From: artwoods@woodsdcg.com
Sent: Monday, January 29, 2018 4:21 PM
To: Kurtis Pozsgay
Cc: Scott Viger
Subject: 1301 Irving Station
Attachments: 1301 Irving park rd design.pdf

Kurtis,
Attached is the new sign design and branding for the 1301 w Irving station, this is finally the last piece of the puzzle.

I would like to make an appointment to come in and review all the items and required filings and fees with you some time this week if possible
please let me know, I will print everything and bring them with me, you should already have electronic copies. If at all possible I would like to get this officially filed and on the agenda.

Thanks for all your help.

Respectfully

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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PROJECT:

**1301 W. Irving Park
(gas station)**

CUSTOMER APPROVAL:

DATE **12.21.2017**

AUTHORIZED SIGNATURE

REPRESENTATIVE

DRAWN BY

DATE

SCALE

SHEET NO. 1 of 1

WORK ORDER

FILE NAME

REVISIONS:

- 1 4.08.13
- 2
- 3
- 4
- 5
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

From: artwoods@woodsdcg.com
Sent: Friday, February 2, 2018 8:38 AM
To: Kurtis Pozsgay
Subject: RE: 1301 Irving Station

Good Morning Kurtis,
I Answered those questions before but will resend, also I did submit survey but will resend also later today,
Thanks.
I just want to make sure we have everything, Thanks again

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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----- Original Message -----

Subject: RE: 1301 Irving Station
From: "Kurtis Pozsgay" <KPozsgay@bensenville.il.us>
Date: 2/1/18 4:08 pm
To: "artwoods@woodsdcg.com" <artwoods@woodsdcg.com>

Art,

I apologize for the slow response. I was going through the files and I think we're still missing a couple items. Did you ever submit a plat of survey? I need that with the legal description of the property to include in the public hearing notice we need to put in the paper.

I also need responses to the 6 Approval Criteria for Conditional Uses found on page 7 of the application. I've attached the application and also attached some example responses from another application.

On the signage plan, does the canopy only say Exxon on one side? Are there any signs planned for the building?

The only other thing we would need to get this officially filed is the application fee (\$500) and escrow (\$300).

Thanks

Kurtis

From: artwoods@woodsdc.com [mailto:artwoods@woodsdc.com]
Sent: Monday, January 29, 2018 4:21 PM
To: Kurtis Pozsgay <KPOzsgay@bensenville.il.us>
Cc: Scott Viger <SViger@bensenville.il.us>
Subject: 1301 Irving Station

Kurtis,

Attached is the new sign design and branding for the 1301 w Irving station, this is finally the last piece of the puzzle.

I would like to make an appointment to come in and review all the items and required filings and fees with you some time this week if possible

please let me know, I will print everything and bring them with me, you should already have electronic copies. If at all possible I would like to get this officially filed and on the agenda.

Thanks for all your help.

Respectfully

Arthur Woods Jr.

General Manager

Woods Design Group, LLC.

630-886-5163 Phone

artwoods@woodsdc.com

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From: Art <artwoods@woodsdc.com>
Sent: Tuesday, February 13, 2018 5:00 PM
To: Kurtis Pozsgay
Subject: Re: 1301 Irving Station

Kurtis,
Putting paperwork together how many copies do you need, will submit tomorrow

Respectfully
Arthur Woods Jr.
General Manager

The information contained in this email and any attachments is confidential and may be subject to copyright or other intellectual property protection. If you are not the intended recipient, you are not authorized to use or disclose this information, and we request that you notify us by reply mail or telephone and delete the original message from your mail system.

On Feb 9, 2018, at 4:03 PM, Kurtis Pozsgay <KPozsgay@bensenville.il.us> wrote:

Art,

Following up on this. I found the legal description, but we still need a plat. I also need the application fee and escrow.

Scott is also saying that we will need a market analysis and a traffic study done for this project. They have required these for all new gas stations. For the traffic study, please make sure to include a stacking and turning movements exhibit, as that is the most important/discussed issue when considering. I've attached the exhibit and market analysis that we received from the last approved project, Pilot.

Let me know if you have any questions.
Kurtis

From: artwoods@woodsdc.com [<mailto:artwoods@woodsdc.com>]
Sent: Friday, February 2, 2018 8:38 AM
To: Kurtis Pozsgay <KPozsgay@bensenville.il.us>
Subject: RE: 1301 Irving Station

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Arthur Woods Jr.
General Manager
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630-886-5163 Phone
artwoods@woodsdc.com

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----- Original Message -----

Subject: RE: 1301 Irving Station

From: "Kurtis Pozsgay" <KPozsgay@bensenville.il.us>

Date: 2/1/18 4:08 pm

To: "artwoods@woodsdc.com" <artwoods@woodsdc.com>

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Kurtis

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To: Kurtis Pozsgay <KPozsgay@bensenville.il.us>

Cc: Scott Viger <SViger@bensenville.il.us>

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Thanks for all your help.

Respectfully

Arthur Woods Jr.

General Manager

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<08 Stacking and Turning Movement Exhibits.pdf>

<00a Development Narrative.pdf>

From: artwoods@woodsdcg.com
Sent: Wednesday, February 14, 2018 11:32 AM
To: Kurtis Pozsgay
Subject: RE: 1301 Irving Station

Sure

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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----- Original Message -----

Subject: RE: 1301 Irving Station
From: "Kurtis Pozsgay" <KPozsgay@bensenville.il.us>
Date: 2/14/18 10:12 am
To: "Art" <artwoods@woodsdcg.com>

Art,

Lenny called in a panic about the gas station. The state is on him about getting the old tanks out. He worked it out with our building department. We are going to allow him to remove the tanks but he is not allowed to install the new ones until/if the Conditional Use Permit is approved. He left me a message asking where he is at in that process. He was under the impression everything was taken care of. Can you reach out to him to discuss?

Thanks

Kurtis

From: Art [mailto:artwoods@woodsdcg.com]
Sent: Tuesday, February 13, 2018 5:00 PM
To: Kurtis Pozsgay <KPozsgay@bensenville.il.us>
Subject: Re: 1301 Irving Station

Kurtis,

Putting paperwork together how many copies do you need, will submit tomorrow

Respectfully

Arthur Woods Jr.

General Manager

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On Feb 9, 2018, at 4:03 PM, Kurtis Pozsgay <KPozsgay@bensenville.il.us> wrote:

Art,

Following up on this. I found the legal description, but we still need a plat. I also need the application fee and escrow.

Scott is also saying that we will need a market analysis and a traffic study done for this project. They have required these for all new gas stations. For the traffic study, please make sure to include a stacking and turning movements exhibit, as that is the most important/discussed issue when considering. I've attached the exhibit and market analysis that we received from the last approved project, Pilot.

Let me know if you have any questions.

Kurtis

From: artwoods@woodsdc.com [<mailto:artwoods@woodsdc.com>]

Sent: Friday, February 2, 2018 8:38 AM

To: Kurtis Pozsgay <KPozsgay@bensenville.il.us>

Subject: RE: 1301 Irving Station

Good Morning Kurtis,

I Answered those questions before but will resend, also I did submit survey but will resend also later today, Thanks.

I just want to make sure we have everything, Thanks again

Arthur Woods Jr.

General Manager

Woods Design Group, LLC.

630-886-5163 Phone

artwoods@woodsdc.com

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----- Original Message -----

Subject: RE: 1301 Irving Station

From: "Kurtis Pozsgay" <KPozsgay@bensenville.il.us>

Date: 2/1/18 4:08 pm

To: "artwoods@woodsdc.com" <artwoods@woodsdc.com>

Art,

I apologize for the slow response. I was going through the files and I think we're still missing a couple items. Did you ever submit a plat of survey? I need that with the legal description of the property to include in the public hearing notice we need to put in the paper.

I also need responses to the 6 Approval Criteria for Conditional Uses found on page 7 of the application. I've attached the application and also attached some example responses from another application.

On the signage plan, does the canopy only say Exxon on one side? Are there any signs planned for the building?

The only other thing we would need to get this officially filed is the application fee (\$500) and escrow (\$300).

Thanks

Kurtis

From: artwoods@woodsdc.com [<mailto:artwoods@woodsdc.com>]
Sent: Monday, January 29, 2018 4:21 PM
To: Kurtis Pozsgay <KPOzsgay@bensenville.il.us>
Cc: Scott Viger <SViger@bensenville.il.us>
Subject: 1301 Irving Station

Kurtis,

Attached is the new sign design and branding for the 1301 w Irving station, this is finally the last piece of the puzzle.

I would like to make an appointment to come in and review all the items and required filings and fees with you some time this week if possible

please let me know, I will print everything and bring them with me, you should already have electronic copies. If at all possible I would like to get this officially filed and on the agenda.

Thanks for all your help.

Respectfully

Arthur Woods Jr.

General Manager

Woods Design Group, LLC.

630-886-5163 Phone

artwoods@woodsdc.com

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<08 Stacking and Turning Movement Exhibits.pdf>

<00a Development Narrative.pdf>

From: artwoods@woodsdc.com
Sent: Monday, February 26, 2018 7:32 PM
To: Kurtis Pozsgay
Subject: 1301 Lenny

Kurtis,

Heads up I just had an hour long meeting with my client and Len L. I gave him a rundown of the events leading up to this point and the hearing date set for April 4th , also told him you need a traffic study and economic narrative (being completed should be to you soon). Len is going to stop in tomorrow to confirm.

any questions or concerns give me a call.

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdc.com

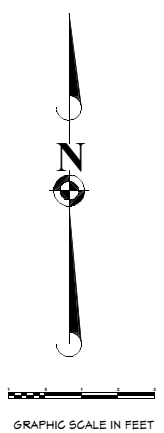
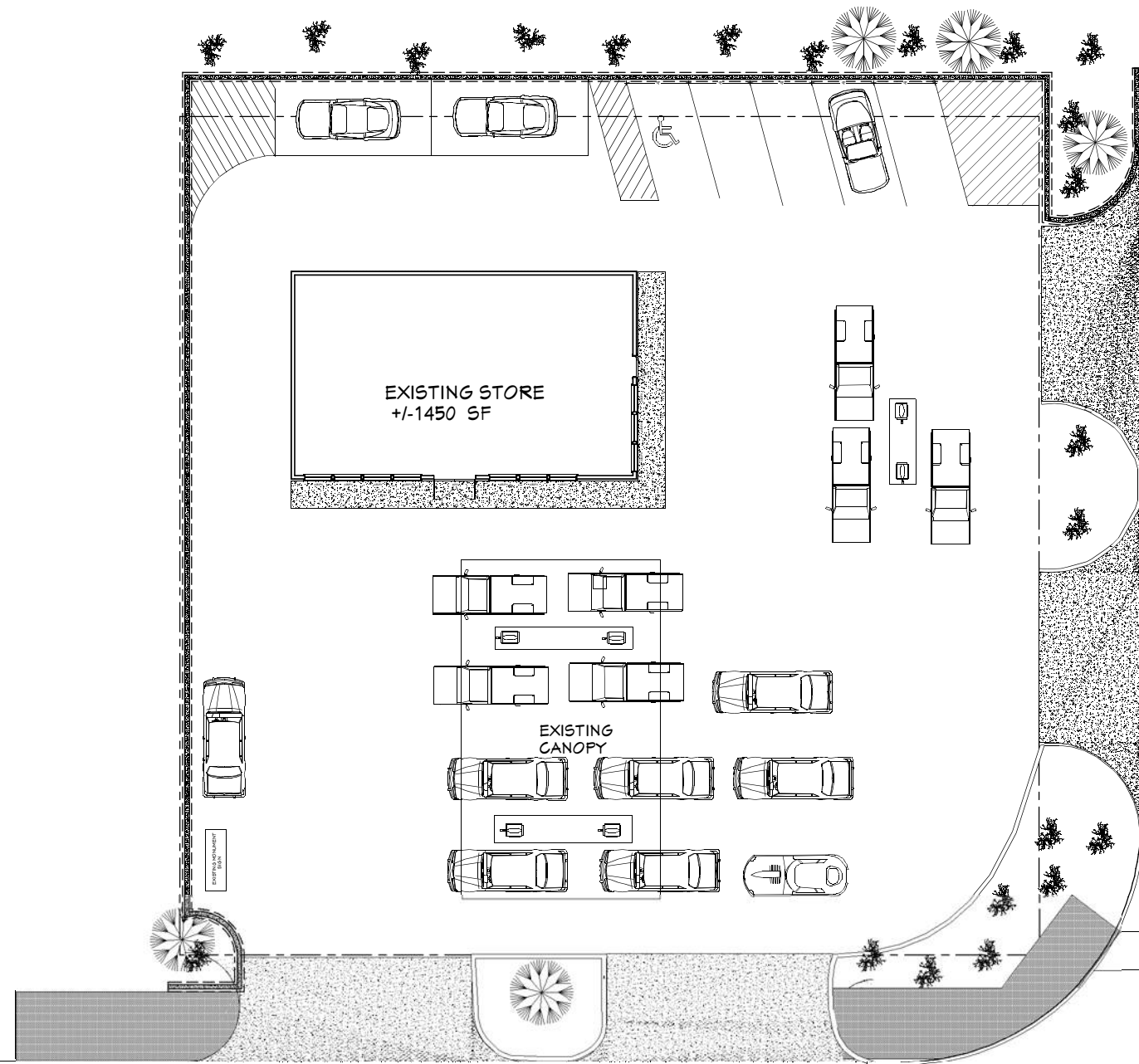
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From: artwoods@woodsdc.com
Sent: Wednesday, June 13, 2018 1:50 PM
To: Kurtis Pozsgay
Subject: 1301 W Irving Stacking Plan
Attachments: 1301 Gas Station Stacking Exhibit BW rev3.pdf

Kurtis,
Attached is the stacking exhibit as requested, I will send the report later today.
Can we get this set up?

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdc.com

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REVISION TABLE		
NUMBER	DATE	DESCRIPTION

STACKING EXHIBIT

LINCOLNWOOD GAS & FOOD, INC.
 1301 W. Irving Pk. Rd.
 Bensenville Illinois 60106

DRAWINGS PROVIDED BY:
Woods Design Group
 246 Dalewood Ave.
 Wood Dale, IL 60191
 630-936-5163
 all rights reserved

DATE:
 6/13/2018

SCALE:
 As Noted

SHEET:
EX-1

From: artwoods@woodsdcg.com
Sent: Wednesday, June 13, 2018 5:20 PM
To: Kurtis Pozsgay
Subject: 1301 w irving Narrative
Attachments: 1301 W Irving Project Narrative.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Kurtis,
As discussed see attached narrative including traffic and economics, let me know if you want anything changed or something different.

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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Project Narrative 1301 W. Irving Park Road

INTRODUCTION

Lincolnwood Gas & Foods, Inc. ("LG&F") is requesting to reestablish their gas station at the corner of Irving Pk. Rd. and Spruce Ave. in Bensenville, including completion of the remodeling of the existing building, and includes rebranding the station to an Exxon station with Quick Mart.

Remodel of an approximately 1,500 square foot convenience store, eight car (8) parking stalls, six (6) multi-product fueling dispensers (this provides for twelve (10) automobile fueling positions)

This remodel will transform the underutilized repair station into a first class, updated fueling center. The Exxon Quick Mart, with both food and fueling components will serve the residents as well as a very active transient day time population.

The Quick Mart will give significant benefits to the immediate neighborhood as well as serving the west bound traffic on Irving park Rd. and that traffic exiting route 83 to Spruce Ave. In addition, this facility will create 2-4 new jobs in the community these will typically be people living within 5-7 blocks of the station.

The reestablishment and rejuvenation of the property will provide much needed amenities to the growing residential area and to more than 5,800 vehicles exiting Rout 83 on Spruce Ave. along with 18,800 daily vehicles on Irving Park Road.

The Quick Mart store will offer a variety of both replenishable & consumables from food to toiletry options, hot and cold beverages, and other convenience goods consisting of more than 900 items or SKU's.

MARKET OVERVIEW

LG&F targeted customers are (a) the residents with in one-mile radius, this group will visit the station on a regular basis 1-3 times a week as it will be the most convenient place to buy consumables. (b) residents within 1-2 mile radius this group in general will visit one time per month, and finally (c) the transient group is the day time traffic of 5,800 coming from Rout 83 off of Spruce Ave. past our store, and the west bound traffic on Irving Pk. Rd. 18,800 of this we will get a percentage of the traffic as our daytime customer.

According to the leading industrial real estate brokers in the O'Hare industrial office/warehouse submarket (bounded by I-294 on the east, I-290 on the south, I-355/Route 53 on the west, and Touhy Avenue on the north) has nearly 100,000,000 square feet of industrial flex space and represents the largest contiguous industrial park in the United States.

Despite the development of new fueling stations in the Bensenville area, the expansion of the industrial park and the extension of the Elgin-O'Hare expressway continues to drive consumer demand for a quick convenient "Quick Mart" Fueling Station for daily commuters as well as the increasing local population needed to keep it all working.

PROJECT OVERVIEW

Since the site is located along two of the busiest travel routes in the Bensenville, Elk Grove Village and Wood Dale area, the Quick Mart will provide eight fast flow standard fueling lanes and two fast flow diesel lanes for cars and small trucks.

LG&F is also looking into setting up quick charge refueling for electric cars, we believe that this is the wave of the future for the daily local commuter and we would like to lead the way. Looking at the expanding market of electric cars and light truck we believe that it just a matter of time before they become main stream.

MARKET ANALYSIS

The reestablishment of this station along with the new and improved Quick Mart will serve the greater Bensenville O'Hare area for the next fifty years as it has for the past 60 years.

This location has long served as a combination auto repair/fueling station and most recently changed from auto repair to quick Mart fueling station given the many changes in both car technology and traffic demands this change was long overdue. It is because of our long history and willingness to expand and improve we humbly request that you approve our request for a special use permit to reestablish our business and continue our long history of serving the greater Bensenville area.

LG&F has projected sales of both Gas and convenient store sale see chart below. This at 1% sales tax would net +/- \$7,500.00 a year to the Village along with increased EAV with improved site. This is a win for everyone.

	Month												TOTAL
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	
Gallons sold	75,000	73,000	76,000	78,000	75,000	80,000	85,000	88,000	84,000	83,000	82,000	81,000	960,000
STORE SALES	50,000	50,000	55,000	60,000	60,000	63,000	70,000	72,000	70,000	68,000	66,000	60,000	744,000

From: artwoods@woodsdcg.com
Sent: Friday, June 15, 2018 2:57 PM
To: Kurtis Pozsgay
Subject: 1301 W Irving

Kurtis,

Could you please confirm that you have everything you need for the special use and that we will be on the August agenda.

Respectfully

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

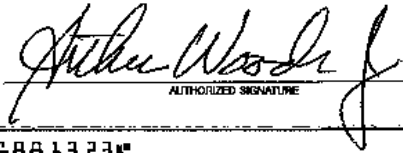
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From: artwoods@woodsdcg.com
Sent: Friday, June 29, 2018 5:13 PM
To: Kurtis Pozsgay
Subject: 1301 Irving Deposit / Fee check
Attachments: Deposit and Escrow 02 14 18 Schaumburg Bank and Trust Company, N.A.pdf

Kurtis,
Attached find a copy of cleared check, written on 2/14/2018 and cashed and cleared on 2/20/18
\$500.00
\$300.00
total of \$800.00

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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4104	
WOODS DESIGN GROUP LLC 296 DALEWOOD AVE WOOD DALE, IL 60181-1872	WOOD DALE BANK & TRUST A BRANCH OF SCHAUMBURG BANK & TRUST COMPANY, N.A. A WINTRUST COMMUNITY BANK 70-2618-719
2/14/18	
PAY TO THE ORDER OF <u>Village of Bensenville</u>	\$ 800. ⁰⁰
<u>Eight Hundred and 00/100</u>	DOLLARS
MEMO <u>1301 COND USE</u>	 AUTHORIZED SIGNATURE
⑈004104⑈ ⑈1396881323⑈	

From: artwoods@woodsdc.com
Sent: Monday, July 9, 2018 12:08 PM
To: Kurtis Pozsgay
Subject: 1301 Irving gas Station

Kurtis,

Just checking in to see if you found my payment after I sent you a copy of the canceled check and to see how everything else is going. Did we or are we set to publish the notice in the paper and are we confirmed for the August 7th meeting?

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdc.com

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From: Art <artwoods@woodsdc.com>
Sent: Monday, July 9, 2018 3:28 PM
To: Kurtis Pozsgay
Subject: Re: 1301 Irving gas Station

Thanks for the update

Respectfully
Art woods
General Manager
Woods Design Group,LLC.
"Changing Lives One Design at a Time"
Artwoods@woodsdc.com
630-886-5163

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On Jul 9, 2018, at 3:27 PM, Kurtis Pozsgay <KPozsgay@bensenville.il.us> wrote:

Art,

I'm not sure if you've been getting all my emails, but nothing has changed. We are still reviewing as a staff. Legals go out next Monday, so nothing is confirmed yet but the plan is to have you on the August 7th agenda.

Kurtis

From: artwoods@woodsdc.com <artwoods@woodsdc.com>
Sent: Monday, July 9, 2018 12:08 PM
To: Kurtis Pozsgay <KPozsgay@bensenville.il.us>
Subject: 1301 Irving gas Station

Kurtis,
Just checking in to see if you found my payment after I sent you a copy of the canceled check and to see how everything else is going. Did we or are we set to publish the notice in the paper and are we confirmed for the August 7th meeting?

Arthur Woods Jr.
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From: Art <artwoods@woodsdc.com>
Sent: Monday, July 30, 2018 1:00 PM
To: Kurtis Pozsgay
Subject: Re: 1301 W Irving

Kurtis,
I'm meeting with client today, I'll get back to you by tomorrow with answers.

Respectfully
Art woods
General Manager
Woods Design Group,LLC.
"Changing Lives One Design at a Time"
Artwoods@woodsdc.com
630-886-5163

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On Jul 27, 2018, at 1:45 PM, Kurtis Pozsgay <KPozsgay@bensenville.il.us> wrote:

Art,

Please see the attached draft staff report. As it stands, we are recommending denial. There are several concerns, including the stacking exhibit, traffic study, and market analysis/need. My hands are tied on this one. We can move forward as presented or we can postpone/continue the public hearing to a later date.

Kurtis Pozsgay, AICP
Senior Planner

<image008.png>
12 South Center Street, Bensenville. IL 60106
P: 630.350.3396 C: 517.648.4971 L: [linkedin.com/in/kpozsgay](https://www.linkedin.com/in/kpozsgay)

<image003.jpg> <image004.jpg> <image005.png>

<image009.png>

From: artwoods@woodsdc.com <artwoods@woodsdc.com>
Sent: Friday, July 27, 2018 10:39 AM
To: Kurtis Pozsgay <KPozsgay@bensenville.il.us>
Subject: 1301 W Irving

Kurtis,
Just checking in to see if you have any updates?
I assume the notice was published and we are still on the next agenda, I believe you said August 7, 2018

Arthur Woods Jr.

General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdc.com

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<CDC 2018 - 12 Draft Staff Report_1301 W Irving Park Rd.pdf>

From: artwoods@woodsdcg.com
Sent: Friday, August 31, 2018 3:45 PM
To: Kurtis Pozsgay
Subject: RE: CDC meeting

Kurtis,
I would agree we need to continue to October meeting.

Thanks

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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----- Original Message -----

Subject: CDC meeting
From: "Kurtis Pozsgay" <KPozsgay@bensenville.il.us>
Date: 8/29/18 10:59 am
To: "Art" <artwoods@woodsdcg.com>

Art,

Just checking in. I assume we are continuing this again. Did you want to continue to the next meeting (October 2) or a later meeting (date certain)?

Thanks

Kurtis Pozsgay, AICP
Senior Planner



BENSENVILLE
GATEWAY TO OPPORTUNITY

12 South Center Street, Bensenville, IL 60106

P: 630.350.3396 C: 517.648.4971 L: [linkedin.com/in/kpozsgay](https://www.linkedin.com/in/kpozsgay)



Please consider the environment before printing this e-mail

From: artwoods@woodsdcg.com
Sent: Thursday, October 11, 2018 12:22 PM
To: Kurtis Pozsgay
Subject: 1301 Irving

Kurtis,

Just wanted to update you I should have all the revised paper work for the gas station by Monday or Tuesday so keep us on the schedule.

Still going between Vet and Lenny for price to sell, dont give much hope.

I have been putting some time into the old police station to see what we could do, we are working on some preliminary floor plans and elevations to see how things will look and layout.

Questions;

Can we open up the street to the rear?

What is standard Bensenville road cross section width?

We would probably need some zoning relief depending on direction we go.

Given the existing structure and lot coverage are we good with storm water if we stay within that SF?

Lets talk next week, Ill call you on Monday.

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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From: Art <artwoods@woodsdcg.com>
Sent: Friday, October 12, 2018 3:09 PM
To: Kurtis Pozsgay
Subject: Re: 1301 Irving

Yes

Respectfully
Art woods
General Manager
Woods Design Group,LLC.
"Changing Lives One Design at a Time"
Artwoods@woodsdcg.com
630-886-5163

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On Oct 12, 2018, at 2:07 PM, Kurtis Pozsgay <KPozsgay@bensenville.il.us> wrote:

Hey Art,

Just confirming that you want to be on the November 6th agenda for 1301 Irving Park. I think we are going to run a legal ad again, which I need to send out Monday.

For your questions, see responses in red:

Can we open up the street to the rear? We're sort of open for anything as far as layout. Scott's can't recall if Village Board had an opinion on the matter or not.

What is standard Bensenville road cross section width? I'll refer you to the subdivision regs. I believe it would be 66 feet.

http://sterlingcodifiers.com/codebook/index.php?book_id=819&chapter_id=56858

We would probably need some zoning relief depending on direction we go. This could probably go through as some sort of PUD. Could make things easier for everyone.

Given the existing structure and lot coverage are we good with storm water if we stay within that SF? We have to all DuPage standards. I believe a DuPage County Stormwater Management Certification will be required for this project as the total land disturbing activity exceeds 5,000 SF. Onsite detention is required above 25,000 SF.

Kurtis

From: artwoods@woodsdcg.com <artwoods@woodsdcg.com>
Sent: Thursday, October 11, 2018 12:22 PM
To: Kurtis Pozsgay <KPozsgay@bensenville.il.us>
Subject: 1301 Irving

Kurtis,

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Lets talk next week, Ill call you on Monday.

Arthur Woods Jr.

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From: Art <artwoods@woodsdg.com>
Sent: Thursday, November 15, 2018 4:30 PM
To: Kurtis Pozsgay
Subject: Re: Ordinance

Let me think and send to you tomorrow

Respectfully
Art woods
General Manager
Woods Design Group, LLC.
"Changing Lives One Design at a Time"
Artwoods@woodsdg.com
630-886-5163

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On Nov 14, 2018, at 4:17 PM, Kurtis Pozsgay <KPozsgay@bensenville.il.us> wrote:

Oops. Sorry. Attached is the correct ordinance

From: Kurtis Pozsgay
Sent: Wednesday, November 14, 2018 4:16 PM
To: 'Artwoods@woodsdg.com' <Artwoods@woodsdg.com>
Subject: Ordinance

Attached is a copy of your ordinance. Please let me know where you would like the official hard copy mailed.

Thank you,

Kurtis Pozsgay, AICP
Senior Planner

<image001.png>
12 South Center Street, Bensenville. IL 60106
P: 630.350.3396 C: 517.648.4971 L: [linkedin.com/in/kpozsgay](https://www.linkedin.com/in/kpozsgay)

<image002.jpg> <image003.jpg> <image004.png>

<image005.png>

<O-62-2018 Denying CUP Service Station 1301 W Irving Park Road.pdf>

From: artwoods@woodsdcg.com
Sent: Friday, November 16, 2018 12:47 PM
To: Kurtis Pozsgay
Subject: RE: Ordinance

Mail official hard copy to

Jose Mathew

Elmhurst, Illinois

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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----- Original Message -----

Subject: Ordinance
From: "Kurtis Pozsgay" <KPozsgay@bensenville.il.us>
Date: 11/14/18 4:16 pm
To: "Artwoods@woodsdcg.com" <Artwoods@woodsdcg.com>

Attached is a copy of your ordinance. Please let me know where you would like the official hard copy mailed.

Thank you,

Kurtis Pozsgay, AICP
Senior Planner



BENSENVILLE
GATEWAY TO OPPORTUNITY

12 South Center Street, Bensenville, IL 60106

P: 630.350.3396 C: 517.648.4971 L: [linkedin.com/in/kpozsgay](https://www.linkedin.com/in/kpozsgay)



Please consider the environment before printing this e-mail

From: Evan Summers
Sent: Friday, March 1, 2019 5:24 PM
To: Thomas Tsergas
Cc: Scott Viger; Kurtis Pozsgay
Subject: RE: Meeting on Wen. Feb. 27

Mr. Tsergas,

Thank you for your follow up to our productive meeting on Thursday. Our Economic Development Team will convene to review the potential to reposition the site. As we noted, our team believes that the property will be more valuable and easier to market if consolidated with the car wash to the west. If that consolidation is possible, please let us know.

Respectfully,

eks

From: Thomas Tsergas <analytek@comcast.net>
Sent: Thursday, February 28, 2019 3:39 PM
To: Evan Summers <ESummers@bensenville.il.us>
Cc: Scott Viger <SViger@bensenville.il.us>
Subject: Meeting on Wen. Feb. 27

Dear Mr. Summers ;

In behalf of K. Giannoudakos and myself we would like to thank you and the other people for taking time out of you busy schedule to meet with us and review our problem. As you indicated Lenny being the contact person for K&L Service failed to provide the needed info and documents to the village and on time thus causing the loss of the licenses to re - open as a gas station and as you indicated there are other business providing services needed in your village.

At this point we would like to ask you if you have any connections with people contacting the village regarding the property for a mini market , donut place , or any other business approved by the village,

I will contact a Real Estate lady to come by to evaluate the corner for sale or lease but in any case we will inform you ahead of time . Thanking you again fro your help and co - operation we

Sincerely

A. N. Tsergas P.E.

State of Illinois #72728

From: Art <artwoods@woodsdcg.com>
Sent: Wednesday, August 30, 2017 12:50 PM
To: Scott Viger
Subject: Re: 1301 West Irving Park Road

Thanks Scott,
I'm at City Club of Chicago CMAP 2050 presentation will check it out when I get back

Respectfully
Art woods
General Manager
Woods Design Group,LLC.
"Changing Lives One Design at a Time"
Artwoods@woodsdcg.com
630-886-5163

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On Aug 30, 2017, at 9:32 AM, Scott Viger <SViger@bensenville.il.us> wrote:

Art –
I have attached the inspection lists for the four expired permits.
You will see three of the four have had no inspections and the fourth has many that were not done.
It is my understanding that the OSFM permit for the UST removal and allowable extensions have expired as well.
We also notified the property owner that the Municipal Code requires that the signage for a business not operating be removed and provided a 09.01.17 deadline to do so.
As for the Conditional Use Permit, we will need a full submittal as outlined in the CDC application packet.

Scott R. Viger A.I.C.P.
630.350.3411
<image001.png>

From: artwoods@woodsdcg.com [<mailto:artwoods@woodsdcg.com>]
Sent: Wednesday, August 30, 2017 8:23 AM
To: Scott Viger <SViger@bensenville.il.us>
Subject: RE: 1301 West Irving Park Road

Good Morning Scott,

1) I have not received the list of inspections yet, also could you If I could get list of inspection that were completed that would be great, also if you could give me date of prints on file and firm name, including survey date and firm I am trying to put together a scope of work and time line to complete the project 100%

- 2) Tenant has not back out of the deal,
- 3) I am very much still involved..

Your help is greatly appreciated.

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdc.com

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----- Original Message -----

Subject: 1301 West Irving Park Road

From: "Scott Viger" <SViger@bensenville.il.us>

Date: 8/30/17 8:09 am

To: "artwoods@woodsdc.com" <artwoods@woodsdc.com>

Top of the morning Art -

Two things:

<![if !supportLists]>1. <![endif]>Did K. Pozsgay get you the list of inspections?

<![if !supportLists]>2. <![endif]>I heard yesterday that the tenant/operator has backed out of the deal. If I recall correctly you were under contract with him. So is it accurate that the operator has pulled out? Secondly if so are you "gone" as well?

Scott R. Viger A.I.C.P.

630.350.3411

630.670.3206 (M)

<image001.png>

<SKM_C454e17083009310.pdf>

From: Art <artwoods@woodsdc.com>
Sent: Wednesday, November 8, 2017 3:32 PM
To: Scott Viger; Kurtis Pozsgay; Tom Knight
Subject: 1301 w Irving Signage
Attachments: IMG_0243.jpg; ATT00001.txt; IMG_0244.jpg; ATT00002.txt; IMG_0245.jpg; ATT00003.txt; IMG_0246.jpg; ATT00004.txt; IMG_0247.jpg; ATT00005.txt

All is removed

Does Lenny have or is there a court date on this tomorrow?

From: Terry Giann [REDACTED]
Sent: Friday, June 14, 2019 4:11 PM
To: Scott Viger
Subject: 1301 W Irving Park Road
Attachments: 1301 W Irving Park Rd.png; example statistics.png; Example Village Gateway Opportunity.png

Scott,

Thank you for speaking with me today, and I look forward to working with you in the future. Can I please ask, that the property information for 1301 W Irving Park Rode be updated on the available properties database? I.e. it is missing a picture along with case studies, statistics,market power gap analysis & gateway opportunities (I have provide a few attachments as a point of reference). Additionally, can you inform me how I can renew licenses for any type of business that can be opened in that area i.e. Retail Store, C store, book store, coffee shop, restaurant etc. Thank you in Advance!

--

Kind Regards,
Terry Giannoudakos
[REDACTED]

From: Art <artwoods@woodsdc.com>
Sent: Friday, February 17, 2017 8:46 AM
To: Tom Knight
Subject: Re: from Tom Knight

See you then

Respectfully
Art woods
General Manager
Woods Design Group,LLC.
"Changing Lives One Design at a Time"
Artwoods@woodsdc.com
630-886-5163

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On Feb 17, 2017, at 8:02 AM, Tom Knight <TKnight@bensenville.il.us> wrote:

1100am today? That works!

From: artwoods@woodsdc.com [<mailto:artwoods@woodsdc.com>]
Sent: Thursday, February 16, 2017 6:30 PM
To: Tom Knight <TKnight@bensenville.il.us>
Subject: RE: from Tom Knight

Tom,
I am available, I have a 9am appointment in Villa Park should be done by 10:30 and could be by you at 11:00am if that works or any time after that I will be in my office for the rest of the day.

Under Ground Tank Contractor
BPMC Inc.
1510 Spring Bay Rd, Unit E
East Peoria, IL 61611

Arthur Woods Jr.
General Manager
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"Changing Lives One Design at a Time"
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----- Original Message -----

Subject: from Tom Knight

From: Tom Knight <TKnight@bensenville.il.us>

Date: Thu, February 16, 2017 5:08 pm

To: "artwoods@woodsdc.com" <artwoods@woodsdc.com>

Hello Art –

Nice talking with you today and I'm happy to help get this project back on track. I'll be talking to Scott about this and keep you posted.

Are you available to come by Village Hall during business hours? It might be best to meet all together for a few minutes.

Let me know.

Thanks again for the call.

Tom.

Tom Knight

Plan Reviewer/Inspector

Mobile 630.341.4541

<**image001.jpg**>

12 South Center Street, Bensenville, Illinois 60106

Office: 630.350.3406

Fax: 630.350.3449

tknight@bensenville.il.us

www.bensenville.il.us

From: artwoods@woodsdsdg.com
Sent: Thursday, November 9, 2017 8:30 AM
To: Tom Knight
Subject: RE: 1301 w Irving Signage

Thanks
I will relay
I assume they will dismiss now that sign is taken care of.

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdsdg.com

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----- Original Message -----

Subject: RE: 1301 w Irving Signage
From: "Tom Knight" <TKnight@bensenville.il.us>
Date: 11/8/17 3:33 pm
To: "Art" <artwoods@woodsdsdg.com>, "Scott Viger" <SViger@bensenville.il.us>, "Kurtis Pozsgay" <KPozsgay@bensenville.il.us>

Thank you, sir.
Yes he does, tomorrow at 2pm.

-----Original Message-----

From: Art [mailto:artwoods@woodsdsdg.com]
Sent: Wednesday, November 8, 2017 3:32 PM
To: Scott Viger <SViger@bensenville.il.us>; Kurtis Pozsgay <KPozsgay@bensenville.il.us>; Tom Knight <TKnight@bensenville.il.us>
Subject: 1301 w Irving Signage

All is removed
Does Lenny have or is their a court date on this tomorrow?

From: artwoods@woodsdcg.com
Sent: Thursday, November 9, 2017 10:16 AM
To: Tom Knight
Subject: RE: 1301 w Irving Signage

I Told George to tell him he has to go, i pretty sure he plans to show up.

Arthur Woods Jr.
General Manager
Woods Design Group, LLC.
630-886-5163 Phone
artwoods@woodsdcg.com

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----- Original Message -----

Subject: RE: 1301 w Irving Signage
From: "Tom Knight" <TKnight@bensenville.il.us>
Date: 11/9/17 8:36 am
To: "artwoods@woodsdcg.com" <artwoods@woodsdcg.com>

Good morning Art,

The case won't be "dismissed". It will be heard and Len needs to be in court to represent himself or send council.

From: artwoods@woodsdcg.com [mailto:artwoods@woodsdcg.com]
Sent: Thursday, November 9, 2017 8:30 AM
To: Tom Knight <TKnight@bensenville.il.us>
Subject: RE: 1301 w Irving Signage

Thanks

I will relay

I assume they will dismiss now that sign is taken care of.

Arthur Woods Jr.

General Manager

Woods Design Group, LLC.

630-886-5163 Phone

artwoods@woodsdc.com

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From: "Tom Knight" <TKnight@bensenville.il.us>

Date: 11/8/17 3:33 pm

To: "Art" <artwoods@woodsdc.com>, "Scott Viger" <SViger@bensenville.il.us>, "Kurtis Pozsgay" <KPozsgay@bensenville.il.us>

Thank you, sir.

Yes he does, tomorrow at 2pm.

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From: Art [<mailto:artwoods@woodsdc.com>]

Sent: Wednesday, November 8, 2017 3:32 PM

To: Scott Viger <SViger@bensenville.il.us>; Kurtis Pozsgay <KPozsgay@bensenville.il.us>; Tom Knight <TKnight@bensenville.il.us>

Subject: 1301 w Irving Signage

All is removed

Does Lenny have or is their a court date on this tomorrow?

install EXXON corporator ID sign on canopy as shown
there would be two sets of letter
one on the west side one on the east end
22" x 8ft long EXXON letters two set 15 sq ft each 30 sq ft total



Project Narrative 1301 W. Irving Park Road

INTRODUCTION

Lincolnwood Gas & Foods, Inc. ("LG&F") is requesting to reestablish their gas station at the corner of Irving Pk. Rd. and Spruce Ave. in Bensenville, including completion of the remodeling of the existing building, and includes rebranding the station to an Exxon station with Quick Mart.

Remodel of an approximately 1,500 square foot convenience store, eight car (8) parking stalls, six (6) multi-product fueling dispensers (this provides for twelve (10) automobile fueling positions)

This remodel will transform the underutilized repair station into a first class, updated fueling center. The Exxon Quick Mart, with both food and fueling components will serve the residents as well as a very active transient day time population.

The Quick Mart will give significant benefits to the immediate neighborhood as well as serving the west bound traffic on Irving park Rd. and that traffic exiting route 83 to Spruce Ave. In addition, this facility will create 2-4 new jobs in the community these will typically be people living within 5-7 blocks of the station.

The reestablishment and rejuvenation of the property will provide much needed amenities to the growing residential area and to more than 5,800 vehicles exiting Rout 83 on Spruce Ave. along with 18,800 daily vehicles on Irving Park Road.

The Quick Mart store will offer a variety of both replenishable & consumables from food to toiletry options, hot and cold beverages, and other convenience goods consisting of more than 900 items or SKU's.

MARKET OVERVIEW

LG&F targeted customers are (a) the residents with in one-mile radius, this group will visit the station on a regular basis 1-3 times a week as it will be the most convenient place to buy consumables. (b) residents within 1-2 mile radius this group in general will visit one time per month, and finally (c) the transient group is the day time traffic of 5,800 coming from Rout 83 off of Spruce Ave. past our store, and the west bound traffic on Irving Pk. Rd. 18,800 of this we will get a percentage of the traffic as our daytime customer.

According to the leading industrial real estate brokers in the O'Hare industrial office/warehouse submarket (bounded by I-294 on the east, I-290 on the south, I-355/Route 53 on the west, and Touhy Avenue on the north) has nearly 100,000,000 square feet of industrial flex space and represents the largest contiguous industrial park in the United States.

Despite the development of new fueling stations in the Bensenville area, the expansion of the industrial park and the extension of the Elgin-O'Hare expressway continues to drive consumer demand for a quick convenient "Quick Mart" Fueling Station for daily commuters as well as the increasing local population needed to keep it all working.

PROJECT OVERVIEW

Since the site is located along two of the busiest travel routes in the Bensenville, Elk Grove Village and Wood Dale area, the Quick Mart will provide eight fast flow standard fueling lanes and two fast flow diesel lanes for cars and small trucks.

LG&F is also looking into setting up quick charge refueling for electric cars, we believe that this is the wave of the future for the daily local commuter and we would like to lead the way. Looking at the expanding market of electric cars and light truck we believe that it just a matter of time before they become main stream.

MARKET ANALYSIS

The reestablishment of this station along with the new and improved Quick Mart will serve the greater Bensenville O'Hare area for the next fifty years as it has for the past 60 years.

This location has long served as a combination auto repair/fueling station and most recently changed from auto repair to quick Mart fueling station given the many changes in both car technology and traffic demands this change was long overdue. It is because of our long history and willingness to expand and improve we humbly request that you approve our request for a special use permit to reestablish our business and continue our long history of serving the greater Bensenville area.

LG&F has projected sales of both Gas and convenient store sale see chart below. This at 1% sales tax would net +/- \$7,500.00 a year to the Village along with increased EAV with improved site. This is a win for everyone.

	Month												TOTAL
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	
Gallons sold	75,000	73,000	76,000	78,000	75,000	80,000	85,000	88,000	84,000	83,000	82,000	81,000	960,000
STORE SALES	50,000	50,000	55,000	60,000	60,000	63,000	70,000	72,000	70,000	68,000	66,000	60,000	744,000

STAFF REPORT

HEARING DATE: November 6, 2018
CASE #: 2018 – 12
PROPERTY: 1301 W Irving Park Rd
PROPERTY OWNER: Leonidas Bairaktaris and Kyriakos Giannoudakos
APPLICANT Lincolnwood Gas & Food, Inc
SITE SIZE: 16,918 SF
BUILDING SIZE: 1,435 SF
PIN NUMBERS: 03-15-222-013; -019
ZONING: C – 2 Highway Commercial District
REQUEST: Conditional Use Permit, Service Station,
Municipal Code Section 10 – 7B – 3.

PUBLIC NOTICE:

1. A Legal Notice was published in the Bensenville Independent on Thursday October 18, 2018. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Friday October 19, 2018.
3. On Friday October 19, 2018, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250’ of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

SUMMARY:

The Petitioner is applying for a Conditional Use Permit to operate a fueling station at the long vacant property at the northwest corner of Irving Park Road and Spruce Avenue. The station will be rebranded as an Exxon with Quick Mart. Although not part of the original request, it appears they will need a stacking variance, as they don’t meet the required two vehicle stacking positions per fueling pump. They were also required to submit building plans, as much of that work had been done with a proper approval. The plans you see are mostly already completed. Also of note, the State fire marshal required the property owner to remove existing underground tanks. There are currently no tanks, but the owner says he has new tanks ready to install should the project move forward.

SURROUNDING LAND USES:

	Zoning	Land Use	Comprehensive Plan	Jurisdiction
Site	C – 2	Vacant Commercial	Local Commercial	Village of Bensenville
North	RS – 5	Residential	Single Family Residential	Village of Bensenville
South	C – 2	Commercial	Local Commercial	Village of Bensenville
West	C – 2	Commercial	Local Commercial	Village of Bensenville
East	C – 2	Commercial	Local Commercial	Village of Bensenville

DEPARTMENT COMMENTS:*SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:*

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input checked="" type="checkbox"/>	Vibrant Major Corridors

Finance:

Account is paid up to date.

Police:

No police issues.

Engineering and Public Works:

No comments.

Community & Economic Development:

Economic Development:

- 1) Supportive of this conditional use permit for a fueling station use.
- 2) The site is already built out as a gas station, and as such will require minimal construction or rehabilitation.
- 3) The fueling station will create a number of jobs for community residents, as well as generate sales tax for the Village.

Fire Safety:

No comments at this time.

Building:

- 1) The site has five issued permits, dating back to 2014, that have not been completed.
 - a. #4009 Interior demolition applied for 1/2014
 - b. #4313 Building alteration applied for 6/2014
 - c. #4842 Exterior improvements applied for 1/2015
 - d. #4928 Signage applied for 3/2015
 - e. #7884 Tank removal applied for 2/2018
- 2) New building permits would be required and since none of the old permitted work was finalized, all work will have to meet current code requirements.

- 3) An Office of the State Fire Marshal (OSFM) permit will be required for the installation of the new tanks.

Planning:

- 1) The 2015 Comprehensive Plan indicates “Local Commercial” for this property.
- 2) There was a prior gas station on the property. It closed in 2014.
- 3) Since this station closed, there have been 5 fueling stations approved by Village Board:
- 4) There are 13 fueling stations in the Village currently, with one more approved recently.

ADDRESS	BUS NAME
1285 NORTH ELLIS STREET	ROAD READY
1156 SOUTH YORK ROAD	7- ELEVEN/ EXXON
550 NORTH IL RT 83 ROAD	B P CONNECT (BP PRODUCTS NORTH AMERICA)
600 NORTH IL RT 83 ROAD	BENSENVILLE SHELL
1225 WEST DEVON AVENUE	CITGO
600 WEST IRVING PARK ROAD	BP
647 SOUTH YORK ROAD	SUNNY PETROLEUM, INC. (MARATHON)
550 ILLINOIS ROUTE 83	BP/SUBWAY
601 NORTH IL RT 83 ROAD	THORNTONS INC, #314
1120 WEST IRVING PARK ROAD	SPEEDWAY #7412
101 WEST IRVING PARK ROAD	AMOCO
801 NORTH IL RT 83 ROAD	BRYN MAWR CITGO
1050 NORTH IL RT 83 ROAD	PILOT TRAVEL CENTER LLC
720 EAST GREEN STREET	AMERIFREIGHT*

- 5) Applicant is proposing 10 auto-fueling positions: eight regular fuel and two diesel.
- 6) Applicant submitted a stacking exhibit, which doesn't show the required two stacking spots per fueling station. A variance for stacking requirements was not applied for.
- 7) The applicant is interested in installing electric vehicle charging stations.
- 8) From Village Code: The Village Board may require a traffic study to verify that the placement and spacing of curb cuts will not result in traffic conflicts with pedestrians and other motorists.
- 9) A full traffic study was not submitted.
- 10) Staff may want to close a curbcut.
- 11) The Spruce Avenue frontage does not have a sidewalk. Where the Site Plan has striping we should seek the removal of the pavement and have green space reintroduced to the Site.
- 12) The applicant submitted a project narrative with market overview.
 - a. They anticipate 960,000 gallons sold a year.
 - b. They anticipate the convenience store selling a total of \$744,000 a year.
- 13) The monument sign must include landscaping around the base.
- 14) The building and canopy are not built to the same standards as other recent approvals, including masonry on building and canopy columns.
- 15) Changes to the columns to include masonry and upgrades to the building should be considered.
- 16) Without the tanks in ground, is it possible to relocate/redesign pump islands to mitigate stacking variation?
- 17) Staff does not recommend a liquor license or video gaming to be allowed.

APPROVAL CRITERIA FOR CONDITIONAL USES:

The Community Development Commission shall not recommend approval of the Conditional Use Permit without determining that the request meets the following approval criteria and making certain findings of fact. The Applicant has provided the following Findings of Fact:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: The area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sites bordered by similar commercial uses and has been in existence since 1956.

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The prosed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center. I would contend that it fits in well with its neighbors.

Additional History/Comment from Applicant:

If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

Staff Response to Approval Criteria:

It is stated repeatedly, and incorrectly, that the existing use will remain. The site is currently vacant with no use. While a past use was a fueling station, it is not correct to say that the existing site function and use as a gas station is not changing. The site is not an existing gas station.

Conditional Use Approval Criteria	Meets Criteria	
	Yes	No
1. Traffic		X
2. Environmental Nuisance	X	
3. Neighborhood Character	X	
4. Public Services and Facilities	X	
5. Public Necessity		X
6. Other Factors	X	

RECOMMENDATIONS:

Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Conditional Use for Lincolnwood Gas & Food, Inc. If the CDC recommends approval staff suggests as a minimum the following conditions with the following conditions:

1. The Conditional Use Permit be granted solely to the Lincolnwood Gas & Food and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
2. New building permits are required to deal with 5 outstanding permits and all future permits;
3. All work will have to meet current Code requirements;

4. The Site Plan must be revised to include the closer of the curbcuts closest to the intersection and the sidewalk must be completed on the Spruce Avenue frontage;
5. Site must be redesigned to eliminate the need for the stacking variation;
6. Monument sign must include 3 feet of landscaping around the base;
7. No liquor license;
8. No video gaming;
9. Building and column/canopy upgrades required.

Respectfully Submitted,
Department of Community
& Economic Development

BUILDING RENOVATION FOR:
LINCOLNWOOD GAS AND FOOD, INC
1301 W. IRVING PARK ROAD, BENSENVILLE, IL. 60106

GENERAL NOTES

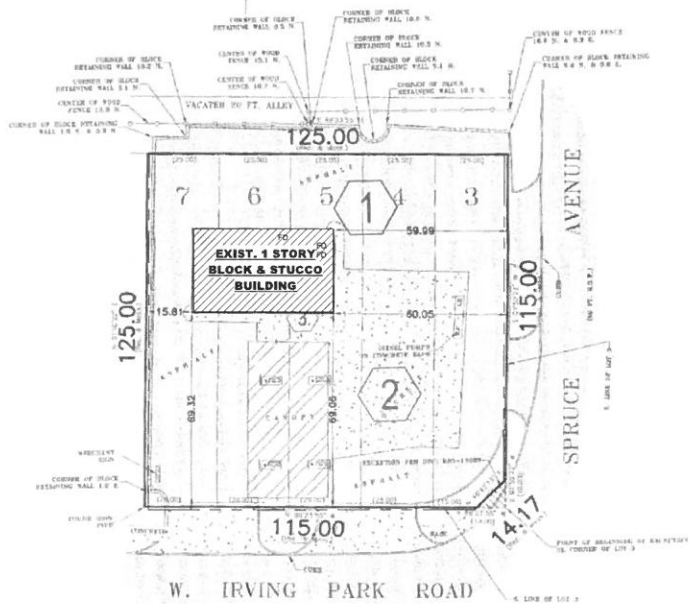
1. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN CONSTRUCTION OF THE PROJECT INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
2. ALL CODES, TRADE STANDARDS AND MANUFACTURERS' INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST EDITION.
3. DETAILS AND SELECTION OF THE DRAWINGS ARE SHOWN AT THE SPECIFIC LOCATIONS AND ARE INTENDED SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAIL NOTED 'TYPICAL' IMPLY ALL CONDITIONS TREATED EARLY MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS.
4. ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE DRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, REGLETS, BOLT SETTINGS, SLEEVES, ETC.
5. CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICE ONES AND EXISTING SITE AREA FROM TIEORATION OR DAMAGE.
6. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH DRAWINGS OR THE REQUIRED CODES.
7. CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS.
8. CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENT OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATIONS OF THE WORK.
9. THE CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED, TO ASSURE THE ORDERLY PROGRESS OF THE WORK.
10. CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOLING, PAINT, OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
11. ALL MANUFACTURERS' PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS 'OR EQUAL' ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED. HOWEVER, ALL SUBSTITUTIONS MUST BE APPROVED BY THE CONSTRUCTION MANAGER.
12. THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.

SPECIAL NOTES

THE ARCHITECT IS NOT SUPERVISING CONSTRUCTION OF THIS BUILDING; THEREFORE, THE USE OF THESE DRAWINGS BY THE OWNER OR ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES AND FOR ANY SAFETY PRECAUTION OR PROGRAMS IN CONNECTION WITH THE WORK. FURTHER, THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO ANY COSTS OR PROBLEMS ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN OR WORKMAN, OR FOR THEIR FAILURE TO COMPLY WITH THESE PLANS AND SPECIFICATIONS.

SPECIAL SAFETY NOTE

ALL CONTRACTORS, SUB-CONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE COURSE OF THEIR ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AS WELL AS OTHER AND IN CARE OF THEIR PROPERTY. EACH AS REPRESENTATIVES OF THEIR EMPLOYEES SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPLISH THEIR WORK AS SAFE AND MEET ALL REGULATIONS OF THE OCCUPATIONAL SAFETY AND HAZARD ACT OR INDICATE SATISFACTION CONCERNING SAFETY AND FULL RESPONSIBILITY FOR ACCIDENTS AND/OR DAMAGE. IF NECESSARY TO RENDER THE JOB-SITE SAFE, IF THE WORK OF THE OTHER PARTIES IS UPON INSPECTION, FOUND AT ANY TIME TO BE UNSAFE, THE CONTRACTOR OR SUB-CONTRACTOR SHALL IMMEDIATELY STOP ALL WORK AND NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND OWNER. THE BEGINNING OF WORK SHALL INDICATE ACKNOWLEDGEMENT AND ACCEPTANCE OF THESE REQUIREMENTS.



CHRIS WINOGRADZKI ARCHITECTS, LTD.
ARCHITECTS & BUILDERS
115 OAKWOOD AVE., DES PLAINES, IL 60016 PH. # 847.698.4114
e-mail: christopher@cw-architects.com

BUILDING CODES:

- International Residential Code (2012)
- International Fire Code (2012)
- International Energy Conservation Code (2012) and State of Illinois Energy Code
- National Electric Code (2011)
- Illinois State Plumbing Code (2004)
- International Mechanical Code (2012)

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE WORK TO BE PERFORMED SHOWN IN THESE DRAWINGS COMPLY WITH THE REQUIREMENTS OF INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015

LICENCE No. 001 014465

EXPIRATION DATE 11/30/2018

SIGNED

DATE: 10-11-17

CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE ALL LOCAL BUILDING AND ZONING ORDINANCES.

LICENCE No. 001 014465

EXPIRATION DATE 11/30/2018

SIGNED

DATE: 10-11-17



BUILDING DATA		
BUILDING CODE		
BUILDING CODE:	INTERNATIONAL BUILDING CODE, 2015 EDITION W/ AMENDMENTS	
PLUMBING CODE:	ILLINOIS PLUMBING CODE, 2014 EDITION	
HVAC CODE:	INTERNATIONAL MECHANICAL CODE, 2015 EDITION W/ AMENDMENTS	
ELECTRICAL CODE:	NATIONAL ELECTRIC CODE, 2014 EDITION W/ AMENDMENTS	
FUEL GAS CODE:	INTERNATIONAL FUEL GAS CODE, 2015 EDITION W/ AMENDMENTS	
ENERGY CODE:	ILLINOIS ENERGY CONSERVATION CODE, 2015 EDITION	
FIRE CODE:	INTERNATIONAL FIRE CODE, 2015 EDITION W/ AMENDMENTS	
VILLAGE/ CITY:	VILLAGE OF BENSENVILLE CODE OF ORDINANCES	
BUILDING CODE INFORMATION		
	ORDINANCE	PROPOSED
CONSTRUCTION TYPE:	TYPE II B	TYPE II B

FIRE-RESISTIVE REQUIREMENTS	
A. ALL WALL, FLOOR AND CEILING FINISHES FLAME SPREAD RATINGS SHALL COMPLY WITH THE LOCAL FIRE PROTECTION CODES AND/OR LOCAL BUILDING CODES.	
B. ALL MATERIALS USED FOR INTERIOR WALL AND CEILING FINISHES AND FOR INTERIOR TRIMS SHALL BE, CLASS 1 W/ A FLAME SPREAD RATING OF 0 TO 25 AND SMOKE DEVELOPED RATING OF 200 & LESS WHEN TESTED IN ACCORDANCE WITH ASTM E84.	
C. ALL MATERIALS USED FOR INTERIOR FLOOR FINISHES SHALL BE, CLASS A W/ A CRITICAL RADIANT FLUX OF 0.45 WATTS PER SQUARE CENTIMETER OR HIGHER.	
D. ALL ROOF COVERINGS SHALL BE CLASSIFIED IN ACCORDANCE WITH THEIR FIRE-RESISTANT PROPERTIES AS FOLLOW: CLASS A ROOF COVERINGS EFFECTIVE AGAINST SEVER FIRE EXPOSURE; CLASS B ROOF COVERINGS EFFECTIVE AGAINST MODERATE FIRE EXPOSURE; CLASS C ROOF COVERINGS EFFECTIVE AGAINST LIGHT FIRE EXPOSURE. INCLUDING (1) BUILDINGS ON ONE-FAMILY OR TWO-FAMILY RESIDENTIAL USE (2) BUILDING OF ROOF FRAME CONSTRUCTION, (3) BUILDING LOCATED OUTSIDE OF THE FIRE LIMITS WHICH ON THE BASIS OF HEIGHT AND AREA COULD BE OF WOOD FRAME CONSTRUCTION UNDER THIS CODE.	
D. PROVIDE MATERIALS AS SCHEDULED OR APPROVED SUBSTITUTE. (ABBREVIATIONS WITHIN THE SCHEDULE DESIGNATE MATERIAL & COLOR. REFER TO FINISH LEGEND WITHIN & FINISH SPECIFICATIONS)	

CODE COMPLIANCE	
OCCUPANCY	
OCCUPANCY CLASS:	M - MERCANTILE
CONSTRUCTION CLASSIFICATION	
CONSTRUCTION TYPE:	FIRE RESISTANCE TYPE II B
STRUCTURAL FRAME	- 0 HRS
BEARING WALLS	- 0 HRS
NON-BEARING (EXTERIOR)	- 0 HRS
NON-BEARING (INTERIOR)	- 0 HRS
FLOOR CONSTRUCTION	- 0 HRS
ROOF CONSTRUCTION	- 0 HRS
COMMON WALLS (BEARING)	- 0 HRS
WALLS BETWEEN RESIDENCE AND GARAGE	N/A
CEILING BETWEEN RESIDENCE AND GARAGE	N/A
DOOR BETWEEN RESIDENCE AND GARAGE	N/A

AIR LEAKAGE, COMPONENT CERTIFICATION AND VAPOR RETARDER REQUIREMENTS	
CONTRACTOR TO CHECK/PROVIDE THE FOLLOWING ITEMS: 1. ALL JOINTS AND PENETRATIONS ARE CAULKED, GASKETED OR COVERED WITH A MOISTURE VAPOR PERMEABLE WRAPPING MATERIAL. MUST BE INSTALLED IN ACCORDANCE TO MANUFACTURES SPECIFICATIONS. 2. WINDOWS AND DOORS CERTIFIED AS MEETING LEAKAGE REQUIREMENTS 3. COMPONENT R-VALUES AND U-FACTORS LABELED AS CERTIFIED 4. OTHER COMPONENTS HAVE SUPPORTING DOCUMENTATION FOR PROPOSED U-FACTORS 5. INSULATION INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS. IN SUBSTANTIAL CONTACT WITH SURFACE BEING INSULATED, AND IN A MANNER THAT ACHIEVES THE RATED R-VALUE WITHOUT COMPROMISING THE INSULATION 6. BUILDING ENTRANCE DOORS EQUIPPED WITH CLOSING DEVICES 7. VAPOR RETARDER INSTALLED	

Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
1 C1	TITLE SHEET & SITE PLAN	10-11-2017
2 C2	MATERIAL SPECIFICATIONS	10-11-2017
3 A1	FIRST FLOOR PLAN & ELEVATIONS	10-11-2017
4 E-M1	ELECTRICAL & MECHANICAL PLANS	10-11-2017
Grand total: 4		

Revision Schedule

Revision Number	Revision Date	Issued by

BUILDING RENOVATION FOR:

TITLE SHEET & SITE PLAN

1 C1

CHRIS WINOGRADZKI ARCHITECTS, LTD

115 Oakwood Ave., Des Plaines, IL 60016
email: chriswin@cw-architects.com
phone: 847-698-4114 fax: 847-215-5993

CHRIS WINOGRADZKI ARCHITECTS, LTD

1301 W. IRVING PARK ROAD, BENSENVILLE, IL 60106

Revision Schedule

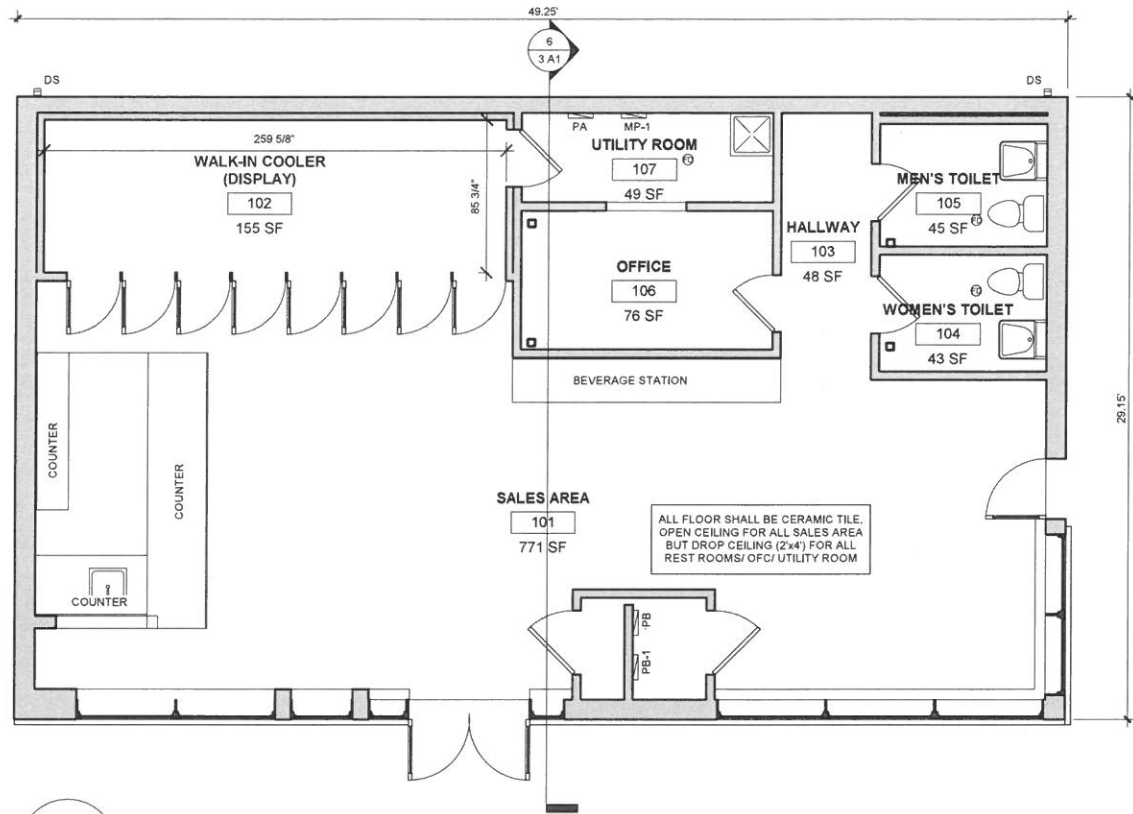
Revision Number	Revision Date	Issued by

of

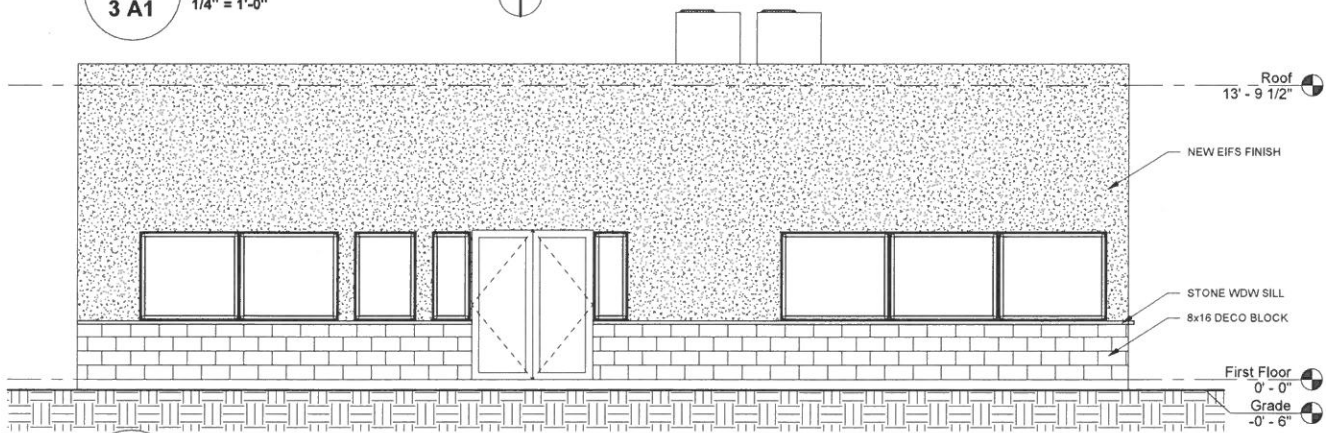
1 C1

4

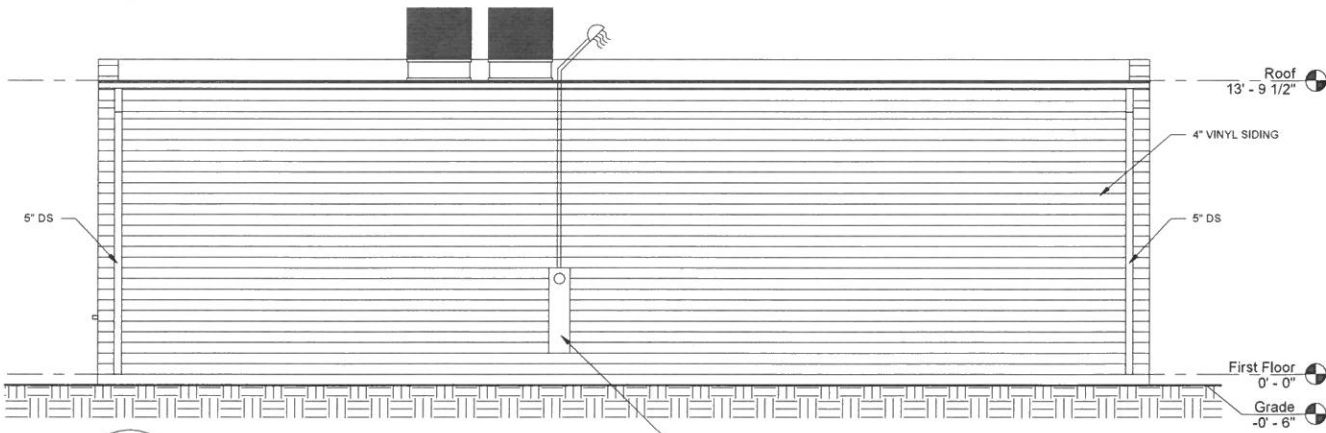
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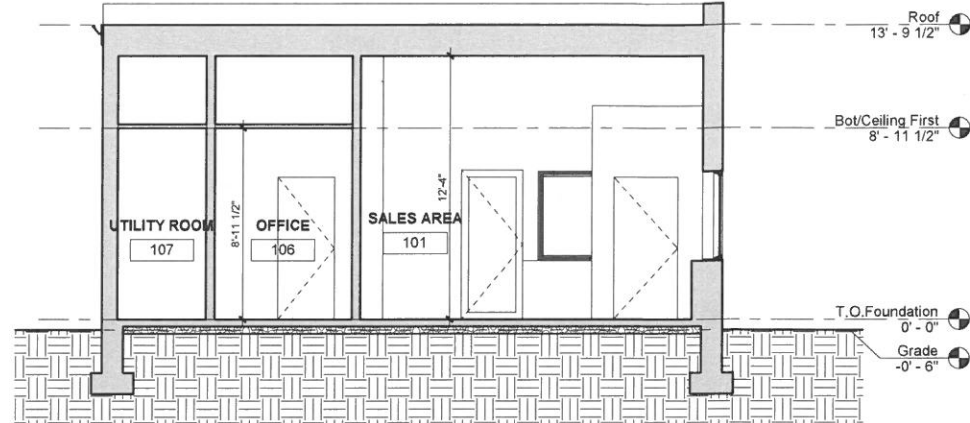
1 FIRST FLOOR PLAN
3 A1 1/4" = 1'-0"



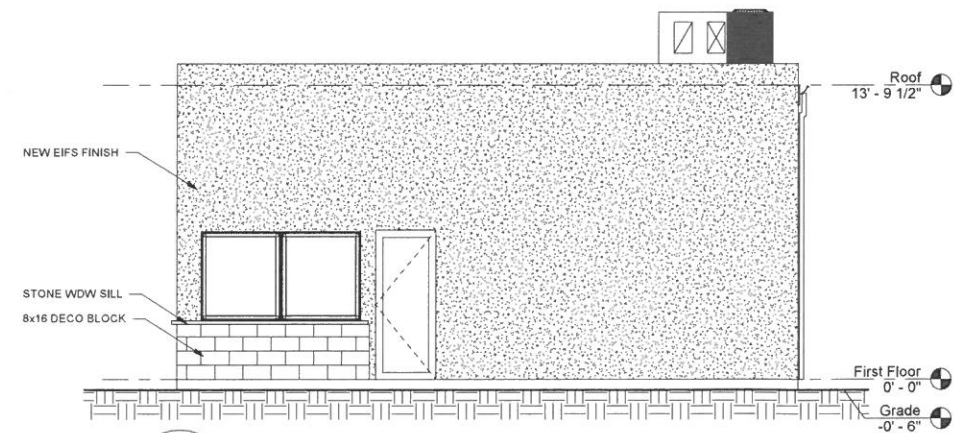
2 SOUTH ELEVATION
3 A1 1/4" = 1'-0"



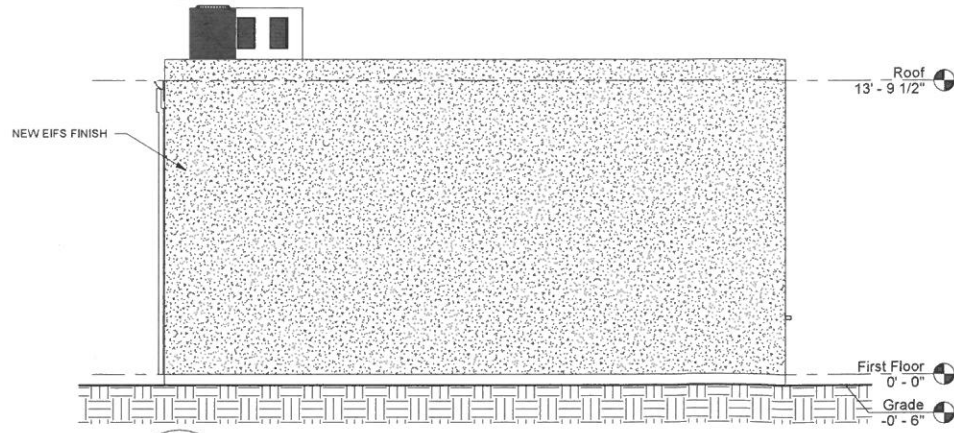
3 NORTH ELEVATION
3 A1 1/4" = 1'-0"



6 BUILDING SECTION 1
3 A1 1/4" = 1'-0"



4 EAST ELEVATION
3 A1 1/4" = 1'-0"



5 WEST ELEVATION
3 A1 1/4" = 1'-0"



BUILDING RENOVATION FOR:

LINCOLNWOOD GAS AND FOOD, INC
1301 W. IRVING PARK ROAD, BENSENVIEW, IL 60106

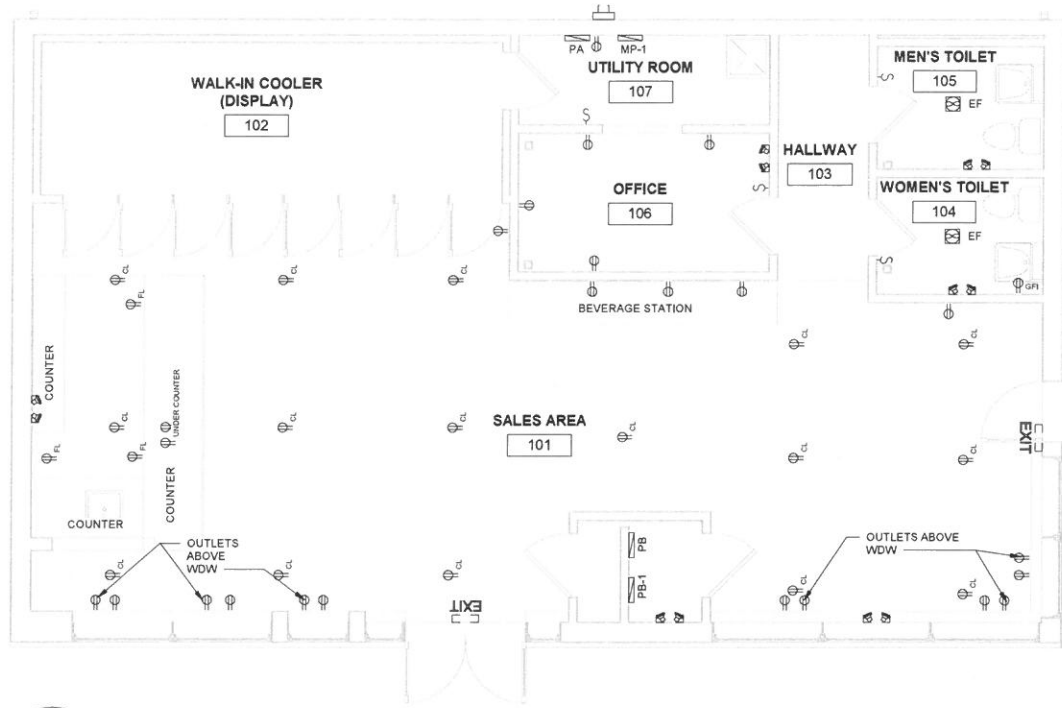
FIRST FLOOR PLAN & ELEVATIONS

CHRIS WINOGRADZKI ARCHITECTS, LTD
115 Oakwood Ave., Des Plaines, IL 60016
e-mail: chris@cw-architects.com
phone: 847-698-4114

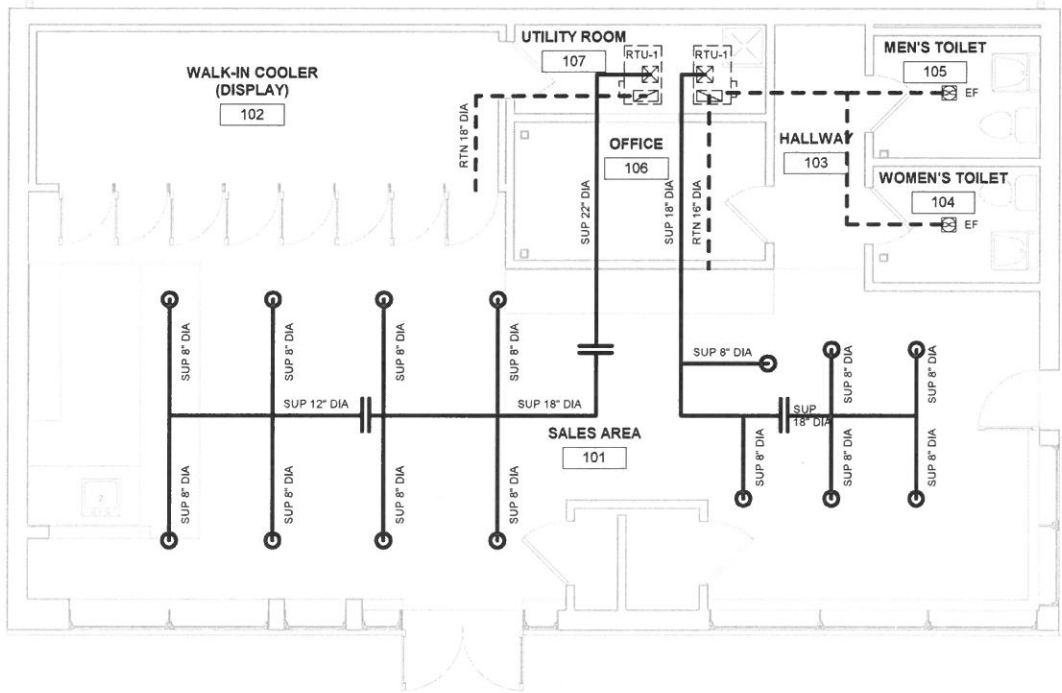
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Drawn:	AGNES
Check:	C.W.
Job:	217030
Sheet:	3 A1
of	4

Revision Schedule		
Revision Number	Revision Date	Issued by

The above drawings and specifications, and ideas, Design and arrangements represented hereby are and shall remain the property of the Architect and no part thereof shall be copied, disclosed to others or used in the connection with any work or project other than the specific project for which they have been prepared without the written consent of the Architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. The Architect shall not be responsible for any errors or omissions from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding. 2015 CHRIS WINOGRADZKI ARCHITECTS, LTD

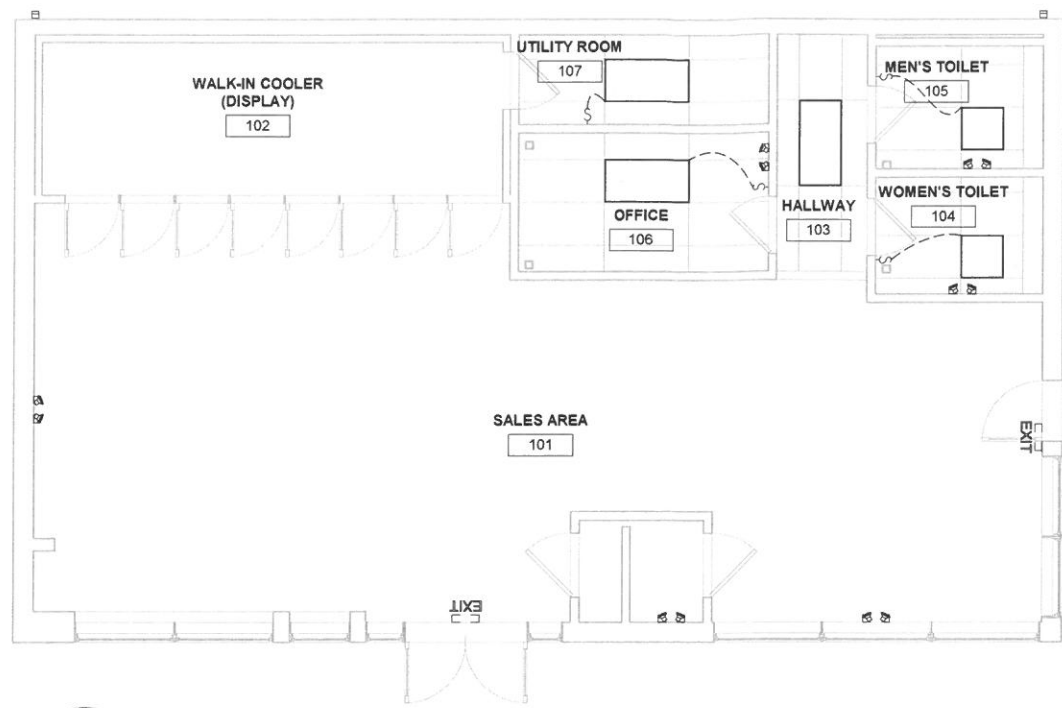


1 ELECTRICAL PLAN
4 E-M1 1/4" = 1'-0"

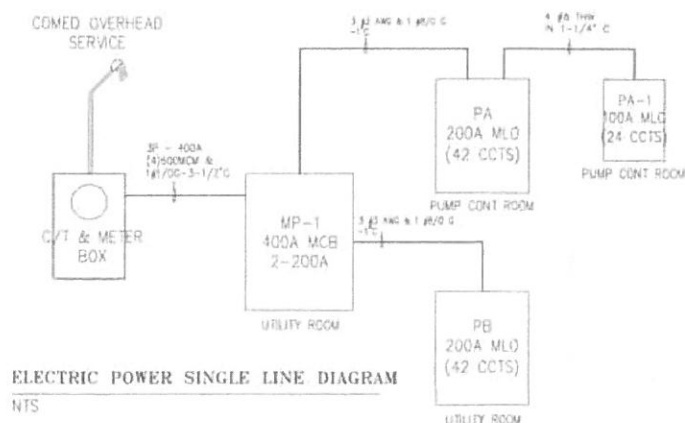


2 MECHANICAL PLAN
4 E-M1 1/4" = 1'-0"

ROOF TOP PACKAGED UNIT SCHEDULE																
UNIT NO.	LOCATION	MANUFACTURER	CAT. NO.	HTG. INPUT (MBH)	HTG. OUTPUT (MBH)	COOLING (MBH)	CFM	BLOWER MOTOR	BLOWER RPM	E.S.P. (IN W.C.)	FLUE SIZE (INCH)	W'T (LB)	ELEC. REQ'D (AMPS) MCA/MOCP	NO. OF COMP.	REFRIGERANT	REMARKS
RTU-1 (EXST)	ROOF	RHEEM	RKKA-A080CK13E	135	116	60	1600	208/230-3	1075	0.59"	N/A	573	27.3 / 35	1	R-22	W/PROGRAMMABLE THERMOSTAT & ECONOMIZER PKG.
RTU-2 (EXST)	ROOF	RHEEM	RKKA-A036CK13E	109	98	36	1200	208/230-3	1075	0.59"	N/A	436	20.8 / 30	1	R-22	W/PROGRAMMABLE THERMOSTAT & ECONOMIZER PKG.



3 LIGHTING PLAN
4 E-M1 1/4" = 1'-0"



Revision Schedule

Revision Number	Revision Date	Issued by

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Written dimensions on these drawings shall have precedence over scaled dimensions. In the event of a discrepancy between the drawings and the specifications, the specifications shall govern. In the event of a discrepancy between the drawings and the specifications, the specifications shall govern. In the event of a discrepancy between the drawings and the specifications, the specifications shall govern.

Shop details must be submitted to this office for approval before proceeding.

2015 CHRIS WINOGRADZKI ARCHITECTS, LTD

BUILDING RENOVATION FOR:

LINCOLNWOOD GAS AND FOOD, INC

1301 W. IRVING PARK ROAD, BENSENVILLE, IL 6006

ELECTRICAL & MECHANICAL PLANS

CHRIS WINOGRADZKI ARCHITECTS, LTD

115 Oakwood Ave., Des Plaines, IL 60016

e-mail: christopher@cw-architects.com

phone: 847-688-4114

fax: 847-215-3993

Date: 10-11-2017

Scale: 1/4" = 1'-0"

Drawn: AGNES

Check: C.W.

Job: 217030

Sheet: 4 E-M1

of 4



Jas. D. Ahern Signs
SIGN COMPANY

Design • Fabrication • Installation • Maintenance

3257 S Harding Ave. Chicago, IL.
tel 773-254-0717 fax 773-254-1403
email ahernsigns@att.net
www.ahernsigns.com

PROJECT:

1301 W. Irving Park
(gas station)

CUSTOMER APPROVAL:

DATE **12.21.2017**

AUTHORIZED SIGNATURE

REPRESENTATIVE

DRAWN BY

DATE

SCALE

SHEET NO. 1 of 1

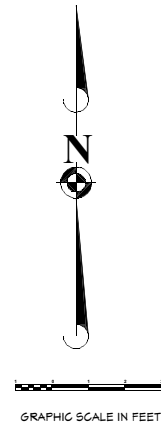
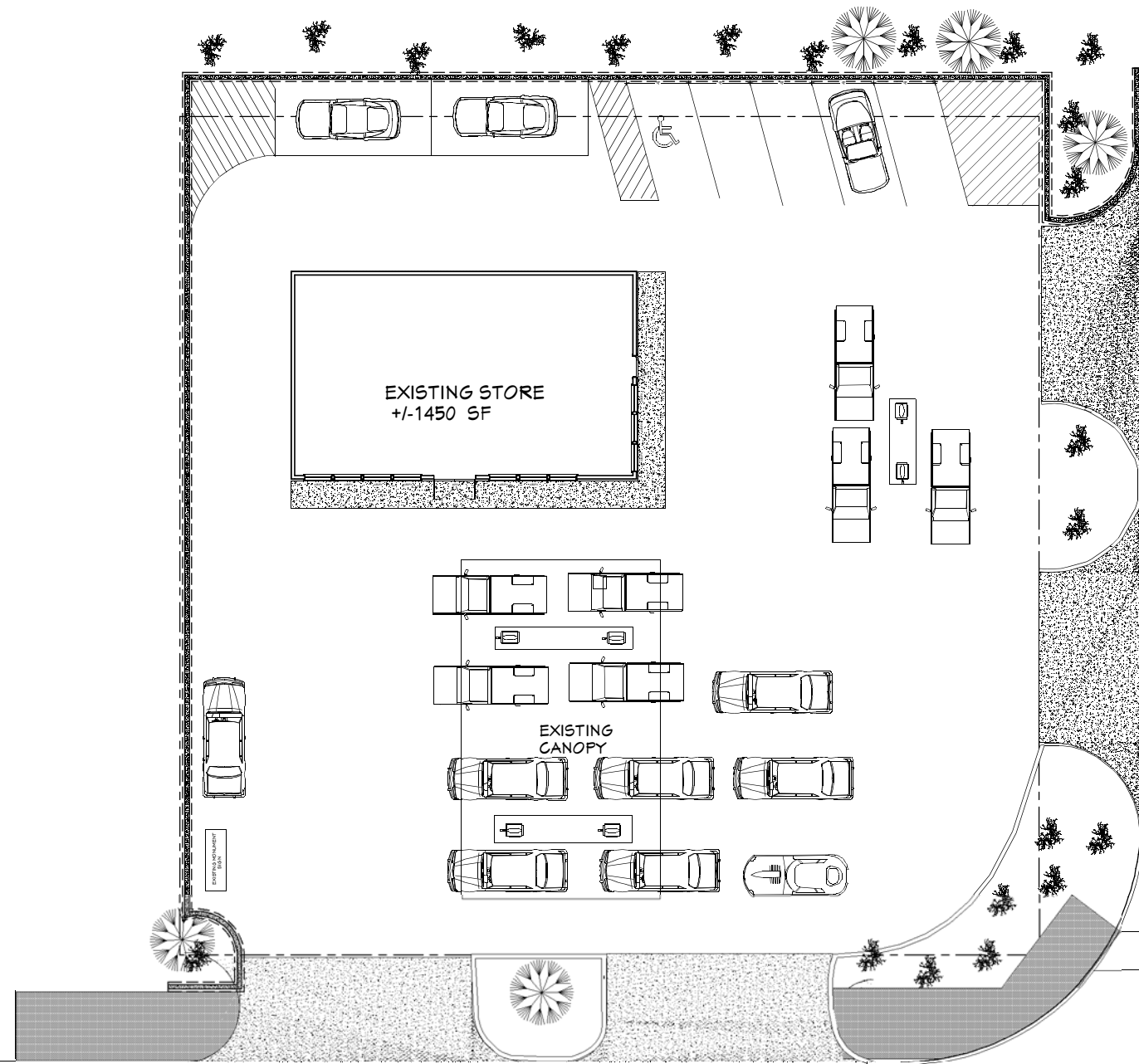
WORK ORDER

FILE NAME

REVISIONS:

- 1 4.08.13
- 2
- 3
- 4
- 5
- 6
- 7
- 8

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



Irving Pk Rd. (RT 19)

SPRUCE AVE.

DRAWINGS PROVIDED BY:

Woods Design Group

246 Dalewood Ave.
Wood Dale, IL 60191
630-936-5163
all rights reserved

DATE:

6/13/2018

SCALE:

As Noted

SHEET:

EX-1

STACKING EXHIBIT

LINCOLNWOOD GAS & FOOD, INC.
1301 W. Irving Pk. Rd.
Bensenville Illinois 60106

REVISION TABLE

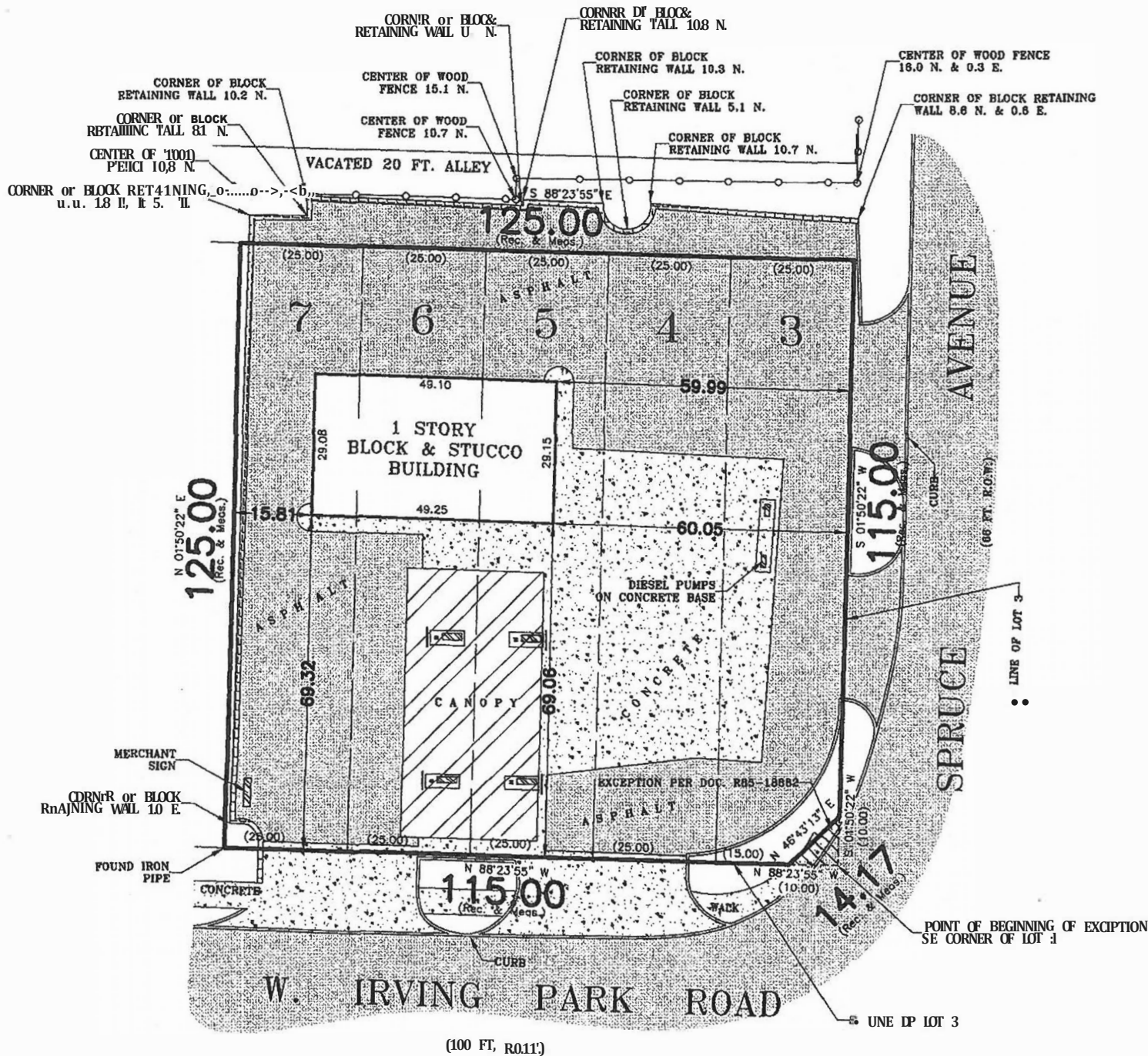
NUMBER	DATE	REVISION BY	DESCRIPTION

of

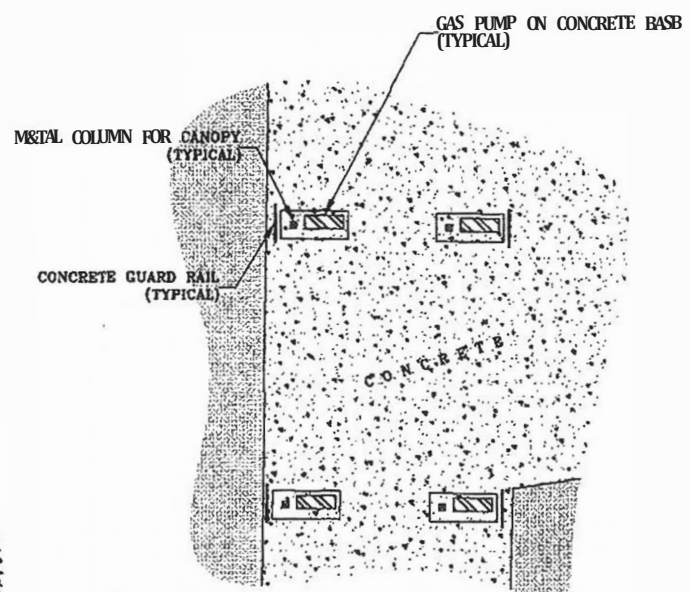
ADDRESS: 1301 1/2 IRVING PARK ROAD, BENSENVILLE, ILLINOIS



SCALE: 1"=30'



- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO INTERPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.



PUMP DETAIL
(NOT TO SCALE)

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

SURVEY ORDERED BY: EFFECTIVE DESIGN CONSULTING, L.L.C.

1. MICHAEL J. LOPEZ, AS AN EMPLOYEE OF PREFERRED SURVEY INC., DO HEREBY STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT AGREEMENT. DIMENSIONS ARE SHOWN IN FBET AND DBCMAL PARTS THEREOF AND ARE CORRBCTBD TO A TEMPERATURE OF 68 DEGREES FARRENRRIT.

GIVEN UNDER MY HAND AND SEAL THIS
20TH DAY OF MARCH A.D. 2014

MY LICENSE EXPIRES ON 11/30/14

P.S.I. NO. 14103298



Professional Design Registration #184-002795

PREFERRED SURVEY, INC.

2846 • 2DTH STREET, BRIDGMAN, IL. 80456

Phone 708-468-7711 / Fax 708-458-7866

www.psleurvey.com

field Work Completed	03 / 19 / 14	no CREW	CD / CZ
Land Area Surveyed	15,574.6 Sq. Ft.	CAD	SR